

Probridhi Apparels Ltd

Kawya, Chonnapara, Sreepur, Gazipur
(24.201027, 90.429663)

12 June, 2016

Client Summery Report





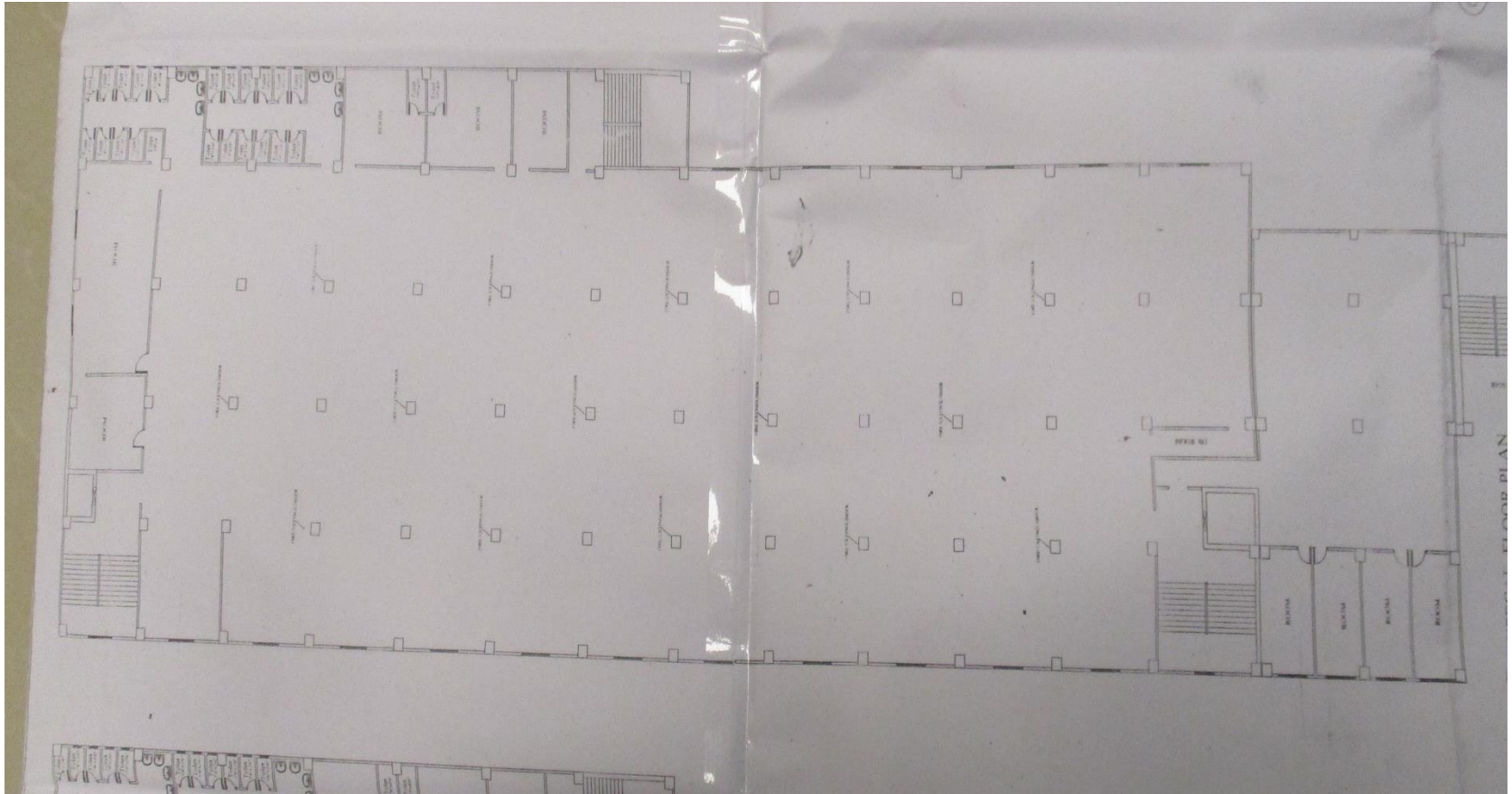
Observations



Main building

Part-A

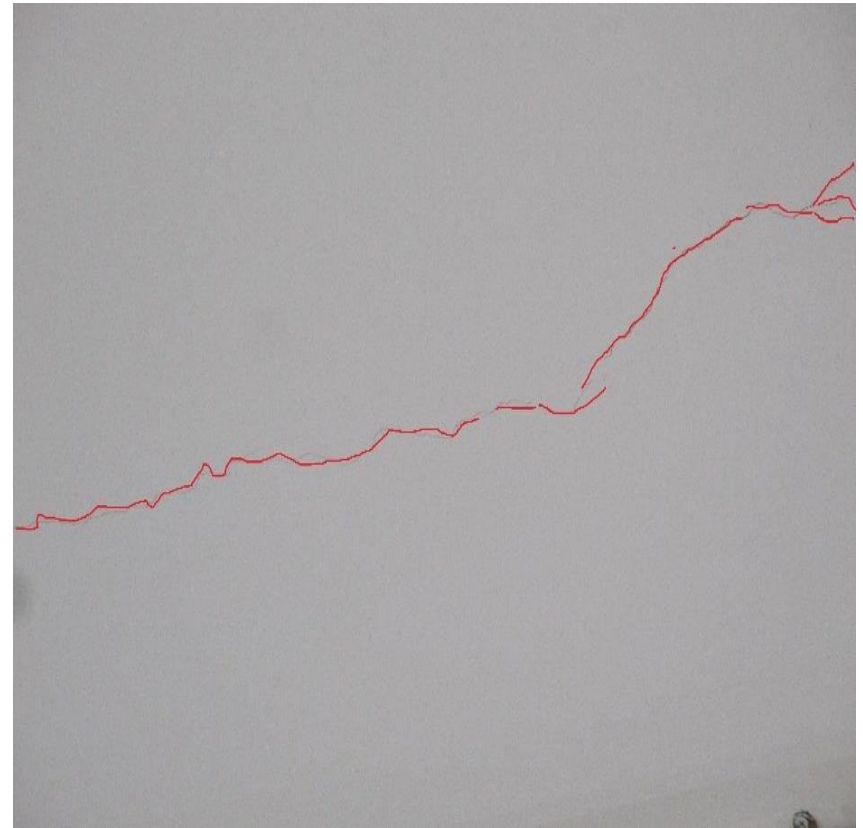
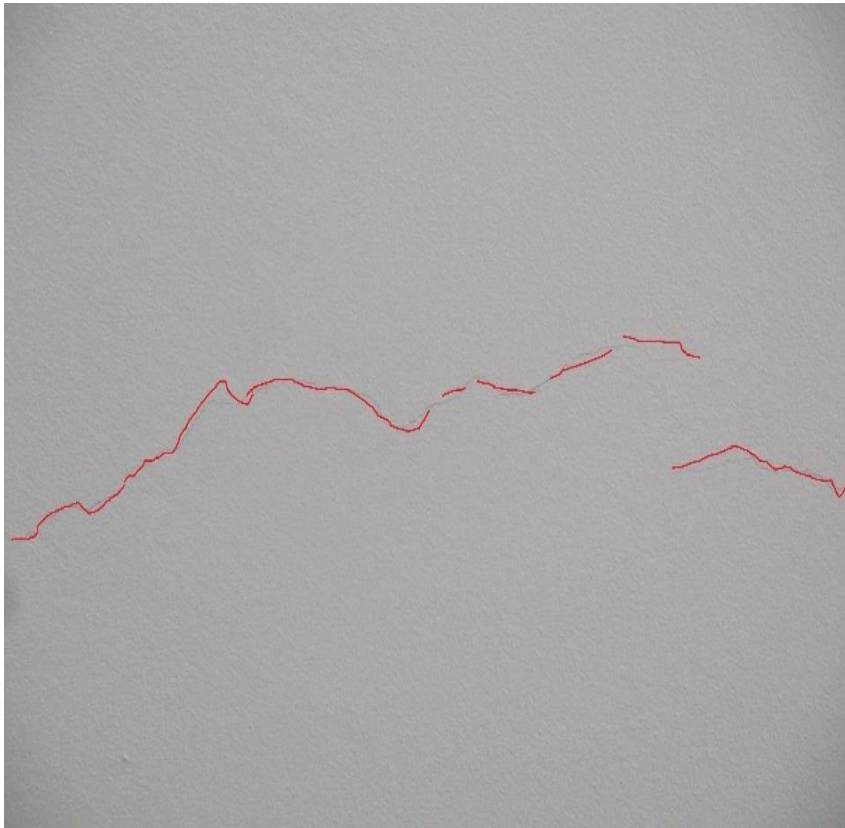
Stability against lateral loading



Main Building is narrow on plan. Lateral stability is primarily provided by moment frames. Lateral stability of the building should be checked to ensure it can withstand design lateral loadings.

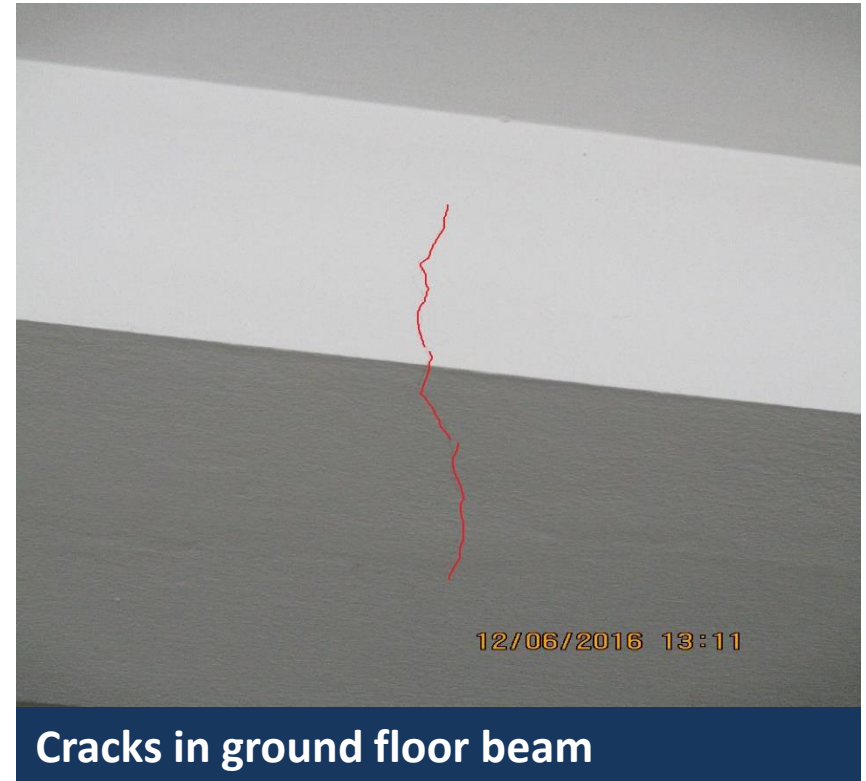
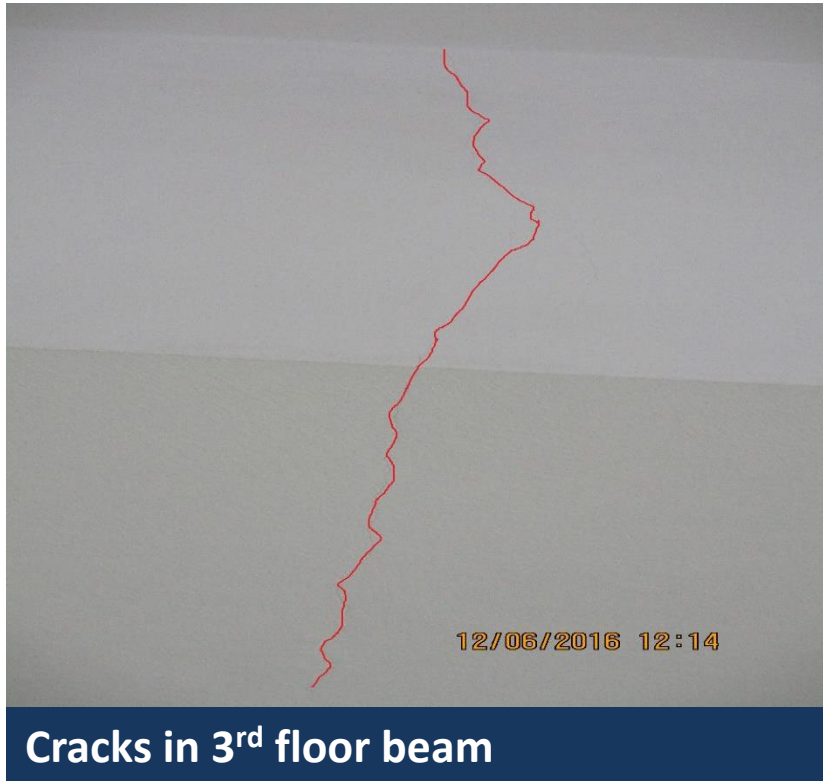


Cracks in slab and beam



Cracks in 4th floor slab soffit

Cracks in slab and beam



Cracks found in beam and slab soffits in part-A. The cause of cracking must be checked if the slab is adequate or not to bear loading from floor.

Cracks in slab and beam



Main building Part-B

Localized areas of High Loading

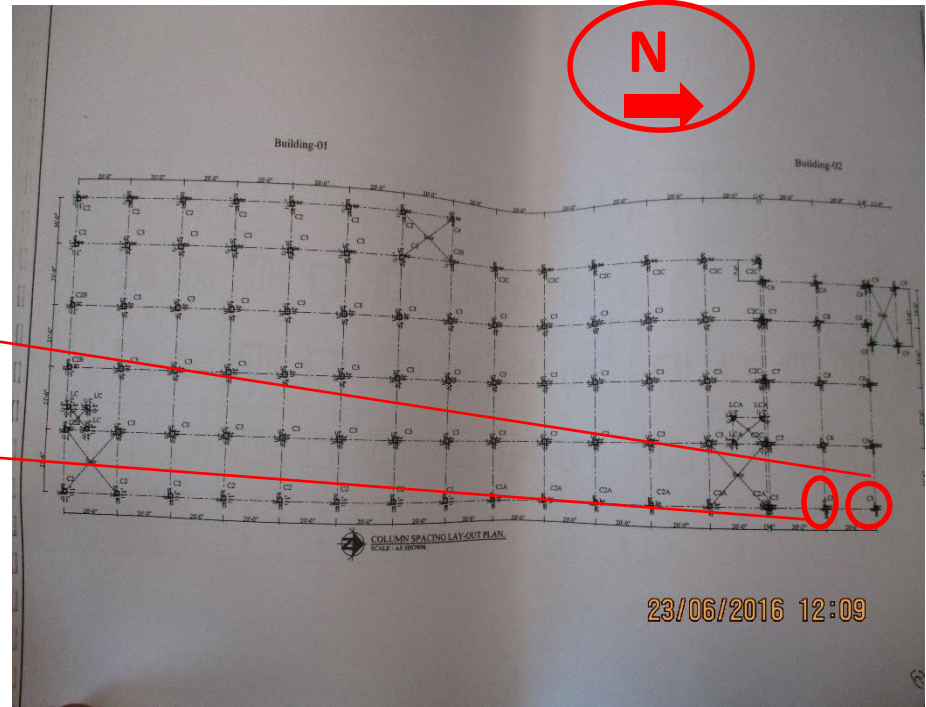


We observed loading was more than 2Kpa in Finished Goods area at 3rd floor and Yarn Store at 2nd floor. Factory provided us a copy of certificate which shows load is within allowable limit but this certificate doesn't show design load. Therefore factory engineer to produce load plan for all floors.

Localized areas of High Loading



Columns at risk of vehicle impact



Column at ground floor level of part-B are susceptible to impact loading from vehicles. Marked columns (which carry the building above) have no protection against vehicle impact.

Columns at risk of vehicle impact



Test Carried out



Aggregate type checking for Main building



Column rebar checking



Problems Observed

Main Building:

Part-A

Item 1: Stability against lateral loading

Item 2: Cracks in slab and beam

Part-B

Item 3: Localized areas of High Loading

Item 4: Columns at risk of vehicle impact



Item 1 and actions

Main Building: Part-A Stability against lateral loading

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- Building engineer to perform stability check for main building against lateral loading

Priority 3

(within 6-months)

- Implement strengthening measures in the building, if required



Item 2 and actions

Main Building: Part-A Cracks in slab and beam

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- Factory Engineer to survey and identify the cause of cracking

Priority 3

(within 6-months)

- Repair the cracks with suitable method, if required
- Produce and actively manage a loading plan for all floor plates within the factory giving consideration to floor capacity and column capacity.



Item 3 and actions

Main Building: Part-B Localized areas of high loading

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- Produce and actively manage a loading plan for all floor plates within the factory giving consideration to floor capacity and column capacity.

Priority 3

(within 6-months)

- Continue to implement load plan.



Item 4 and actions

Main Building: Part-B Columns at risk of vehicle impact

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- None required

Priority 3

(within 6-months)

- Building engineer to survey and install protection against vehicle impact loading



Survey Limitations and Assumptions

This report is for the private and confidential use of Accord for whom it was prepared together with their professional advisors as appropriate. It should not be reproduced in whole or in part or relied upon by third parties for any use without the express written permission of ACCORD.

This report can be used in discussion with the supplier or factory owner as a means to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalised inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non structural aspects of the building such as fire safety have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening up works were carried out (except as noted) and we rely on the Architects and Engineers drawings provided to us for our views on concealed parts of the structure and in particular foundations. Strengths of materials and components are untested and we recommend that the factory owners Building Engineer carries out insitu testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, where given, are for the purpose of providing indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the works as constructed. This report does not interfere with the factory owners Building Engineers responsibility for the structural performance of this building, The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults defects, filling or plastering over cracking or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.