

Madinaple Fashions Craft Ltd.

Holding #44/1, Ward #7, Chandra, Kaliakoir, Gazipur

(24.040603,90.252763)

05 June, 2016

Client Summary Report

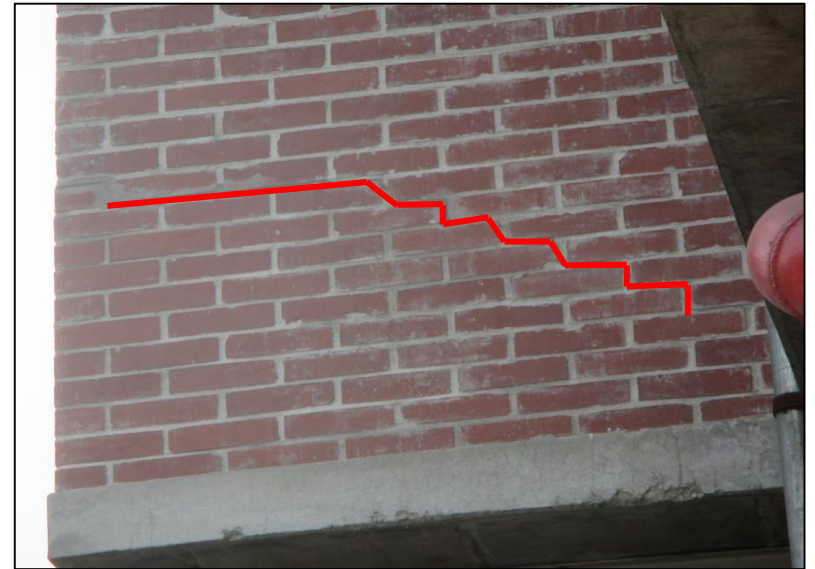




Observations



Crack on North-west facade



Crack found on North-west corner in cantilever façade. Crack may be caused due to deflection in cantilever slab. Factory engineer to check the cause and suggest remedial measure.



Water ponding on roof



Water ponding observed on roof which is resulting in algae on roof. Drainage system has to be updated so that water can be drained out easily.



No documents of Utility building



No documents provided for Utility building



Problems Observed

Item 1: Crack on North-west façade

Item 2: Water ponding on roof

Item 3: No documents of Utility building



Item 1 and actions

Crack on North-west façade

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- Building engineer to check the cause of cracking and suggest repair, if needed

Priority 3

(within 6-months)

- Carry out repair work, if needed



Item 2 and actions

Water ponding on roof

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- None required

Priority 3

(within 6-months)

- Update roof drainage system



Item 3 and actions

No documents of Utility building

Priority 1

(Immediate - Now)

- None required

Priority 2

(within 6-weeks)

- None required

Priority 3

(within 6-months)

- Prepare a set of As-built drawing for Utility building



Survey Limitations and Assumptions

This report is for the private and confidential use of Accord for whom it was prepared together with their professional advisors as appropriate. It should not be reproduced in whole or in part or relied upon by third parties for any use without the express written permission of ACCORD.

This report can be used in discussion with the supplier or factory owner as a means to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalised inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non structural aspects of the building such as fire safety have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening up works were carried out (except as noted) and we rely on the Architects and Engineers drawings provided to us for our views on concealed parts of the structure and in particular foundations. Strengths of materials and components are untested and we recommend that the factory owners Building Engineer carries out in-situ testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, where given, are for the purpose of providing indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the works as constructed. This report does not interfere with the factory owners Building Engineers responsibility for the structural performance of this building, The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults defects, filling or plastering over cracking or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.