

Tazkia Apparels Ltd.

Plot: A-113, BSCIC Industrial Estate, Tongi, Gazipur.

(23.894984, 90.415051)

11 December 2025

Structural Inspection Report



1. Building Information

1. Main Production Building,
2. Utility Building,
3. Security Building.

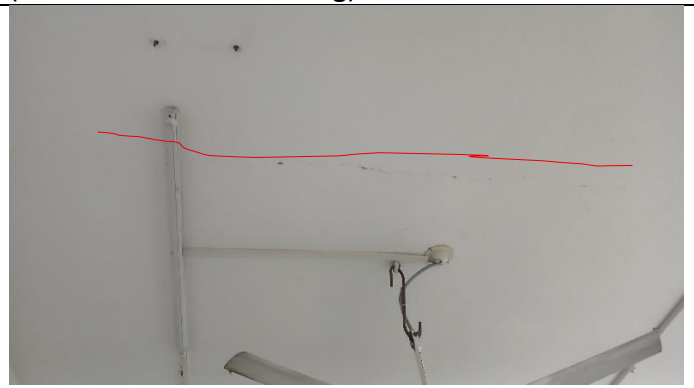
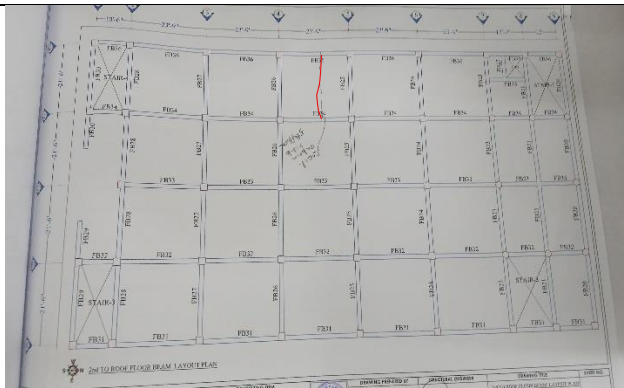
2. Observation

Observation-01: Lack of Design report and material test report. (Main Production Building)



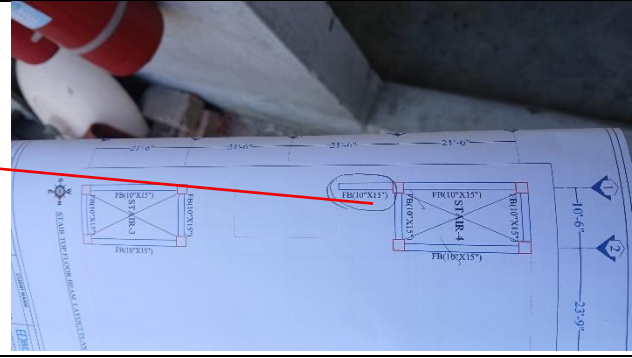
Description: During the inspection, the as-built drawings and soil test report of the structure were available; however, no material test reports and structural design reports were found on-site. The building engineer is required to prepare a structural design report considering in-situ material strengths in accordance with Section 1.9.1 of the BNBC and submit it to RSC for review.

Observation-02: Hairline cracks on beam and slab (Main Production Building)

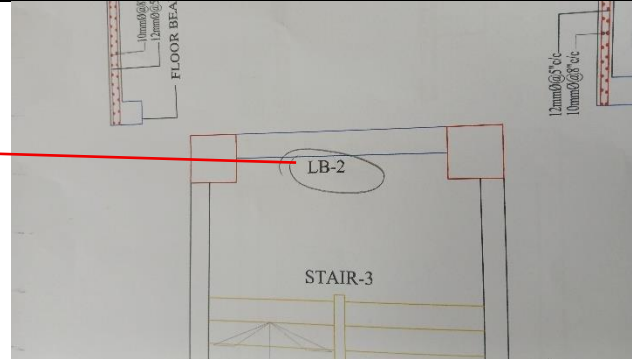


Description: During the inspection, hairline cracks were found on beam and slab at 5th floor roof. The building engineer is required to investigate the extent of crack and prepare an investigation report with remedial measures and submit it to RSC for review.

Observation-03: Mismatch/Lack of information in the as-built drawing. (Main Production Building)



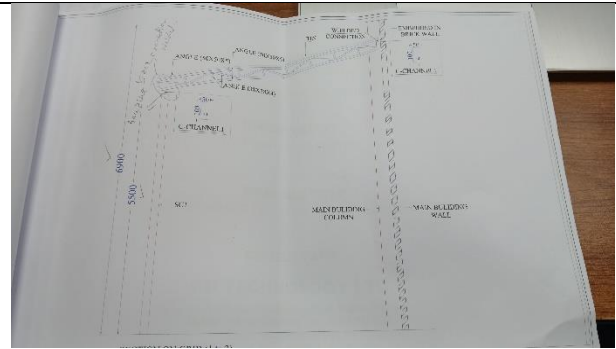
Missing cantilever beam on stair roof



Missing landing beam on stair zone.



Floor punch not shown in drawing



Mismatch in truss layout and missing connection details at boiler room

Description: During the inspection, several mismatches were observed between the as-built drawings and on-site conditions. The building engineer is required to survey the full structure and update the as-built drawing as per site conditions.

Observation-04: Cracks on brick wall of Main Production Building



Periphery brick wall	Internal brick wall	Boiler Room
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Description: During the inspection, cracks were found in periphery brick wall on the 3rd, 4th and 5th floor of the Main Production Building. Also, several cracks were found on the internal brick wall, and a horizontal crack was found between beam and brick pier joint at Boiler room. The building engineer is required to investigate the extent and causes of the observed crack. Necessary repairs shall be carried out as per recommendations.

Observation-05: Non-structural elements found not anchored/braced. (Main Production Building)



Description: Non-structural elements were found on different floors of the building, which were not fully anchored or braced. The building engineer is required to anchor or brace all non-structural elements to avoid a falling hazard during an earthquake.

Observation-06: Columns susceptible to vehicle impact (Main Production Building)



Description: Columns at the ground-floor driveaway area were found susceptible to vehicle impact.

The building engineer is required to provide separate barriers around the column to avoid vehicle impact on columns.

Observation-07: Corrosion on steel member at boiler room. (Main Production Building).



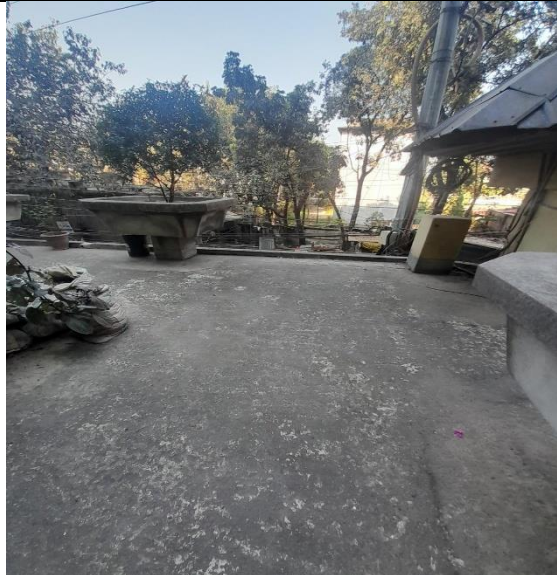
Description: During inspection, corrosion was observed at the steel column of the boiler room. The building engineer is required to remove rust and provide rust proofing paint to avoid future corrosion.

Observation-08: Cracks on brick wall of Security Building.



Description: During the inspection, cracks were found in the brick wall. The building engineer is required to investigate the extent and causes of the observed crack. Necessary repairs shall be carried out as per recommendations.

Observation-09: Possible falling hazard. (Utility Building)



Description: Falling hazard was observed on the roof. The building engineer is required to provide a barrier to avoid falling hazards.

3. Action Plan

Item No	Observation	Action Plan	Timeline
1.	Lack of Design report and material test report. (Main Production Building)	The building engineer is required to prepare an Engineering Assessment (EA) report considering in-situ material strengths in accordance with Section 1.9.1 of the BNBC and submit it to RSC for review.	within 6 weeks
2.		Verify in-situ material strength by taking concrete cores from the lower tier of the building (min. 4 cores from columns and 4 cores from beam/slab).	within 6 weeks
3.		Produce and actively manage a loading plan for all floor plates within the factory, considering foundation, column, & floor capacity.	within 6 weeks
4.		Implement floor live load plan (posting load plan, marking storage area & height and maintaining floor loading).	within 6 months
5.		Carry out remedial work (if required) as per RSC accepted EA.	within 6 months
6.	Hairline cracks on beam and slab (Main Production Building)	The building engineer is required to investigate the extent of cracks and prepare an investigation report with remedial measures and submit it to RSC for review. Repair the crack as per the RSC accepted investigation report.	within 6 weeks
7.	Mismatch/Lack of information in the as-built drawing. (Main Production Building)	The building engineer is required to survey the full structure and update the as-built drawing as per site conditions.	within 6 weeks
8.	Cracks on brick wall of Main Production Building	The building engineer is required to investigate the extent and causes of the observed crack repair with a suitable method.	within 6 weeks
9.	Non-structural elements found not anchored/braced. (Main Production Building)	The building engineer is required to anchor or brace all non-structural elements to avoid a falling hazard during an earthquake.	within 6 months
10.	Columns susceptible to vehicle impact (Main Production Building)	The building engineer is required to provide separate barriers around the column to avoid vehicle impact on column.	within 6 months
11.	Corrosion on steel member in boiler room. (Main Production Building).	The building engineer is required to remove rust and provide rust proofing coating to avoid future corrosion.	within 6 months

12.	Cracks on brick wall of Security Building.	The building engineer is required to investigate the extent and causes of the observed crack repair with a suitable method.	within 6 weeks
13.	Possible falling hazards. (Utility Building)	The building engineer is required to provide a fall protection parapet/ barrier to avoid falling hazards.	within 6 months

Survey Limitations and Assumptions

This report is for the private and confidential use of RSC for whom it was prepared, together with their professional advisors as appropriate. It should not be reproduced as a whole or in part or relied upon by third parties for any use without the express written permission of RSC.

This report can be used in discussion with the supplier or factory owner as a means to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalized inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non-structural aspects of the building, such as fire safety, have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure that are covered, unexposed, or inaccessible, and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening-up works were carried out (except as noted), and we rely on the Architect's and Engineer's drawings provided for us for our views on concealed parts of the structure and, in particular, foundations. The strengths of materials and components are untested, and we recommend that the factory owners' Building Engineer carry out in situ testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, where given, are to provide indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the construction. This report does not interfere with the factory owner's Building Engineer's responsibility for the structural performance of this building. The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event, along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults, defects, filling or plastering over cracking, or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.