

N R Knitting Mills Limited. (Extension)

Enayetnagar, Fatullah, Narayanganj-1400, Bangladesh

(23.619081, 90.478811)

16 February 2025

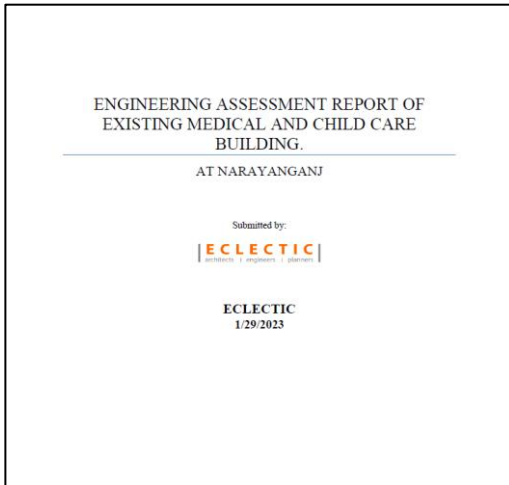


1. Building Information

- a) Childcare & Medical Building
- b) Fire Pump & Control Room
- c) Wastage Store.

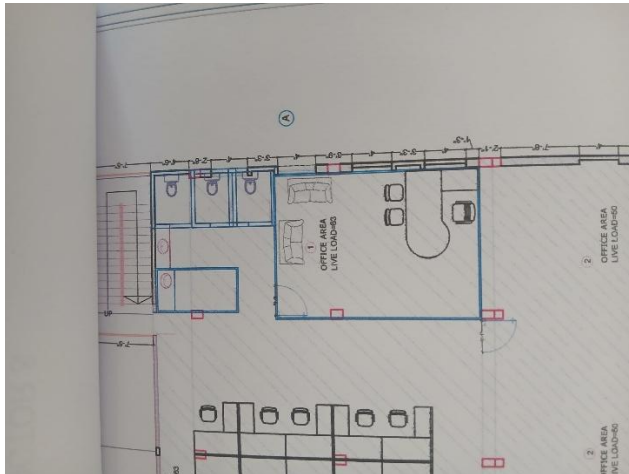
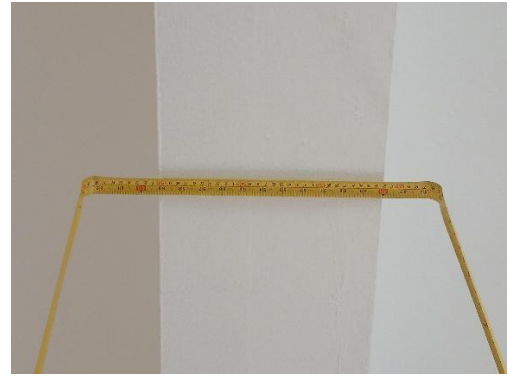
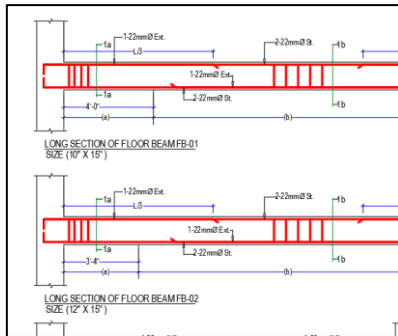
2. Observation:

Observation-1: Design report needs to be reviewed against lateral forces (Childcare & Medical building).



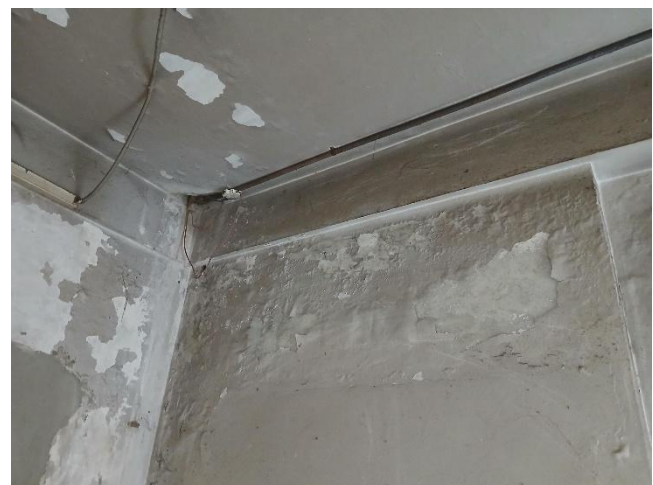
Description: An Engineering Assessment Report has been prepared for the four storied Childcare & Medical building. The prepared design report needs to be reviewed against lateral forces. Submit the design report to the RSC for detailed review.

Observation-2: Mismatch between drawing & onsite condition (Childcare & Medical building).



Description: During inspection, FB1 and FB2 were measured 10"X18" and 10"X20" which were shown 10"X15" and 12"X15" respectively in available structural drawing. In addition, 12" (300 mm) buildup was observed in the toilet block area which was not shown in available architectural drawing. The building engineer is required to update the drawing based on the as-constructed structure.

Observation 3: Dampness on roof slab and cracks on masonry walls (Childcare & Medical building).



Description: Dampness on roof slabs and cracks on masonry walls were observed. The building engineer is required to investigate the reason for dampness & cracks; and repair following suitable method.

Observation-4: Undocumented steel stair with lack of lateral stability system adjacent to Childcare & Medical building.



Description: During inspection, an undocumented steel stair was observed with improper lateral load transfer media. So lateral stability in the long direction is incomplete. Also, improper connection between structural members was observed. The building engineer is required to prepare a full set of as-built drawings, collect necessary approvals from the concerned local authority, and check the stability system and connection adequacy for the existing structure.

Observation 5: Corrosion on steel members of the steel stair (Childcare & Medical building).



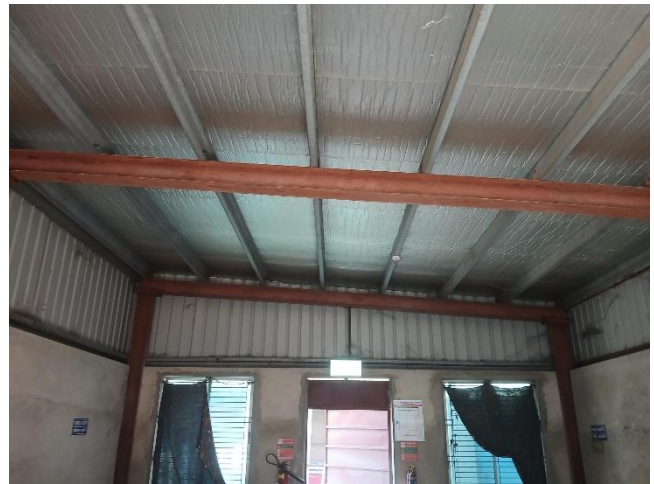
Description: Corrosion was observed on steel members of steel stairs. The building engineer is required to provide rust-proof paint on steel members.

Observation-6: Mismatch between drawing & onsite condition (Wastage Store).



Description: During inspection, 76 mm dia pipe as compression member was shown in structural drawing which was not installed onsite. The building engineer is required to update the drawing based on the as-constructed structure.

Observation-7: Lack of lateral stability system (Wastage Store).



Description: During inspection, no load transfer media along the long direction was observed. So lateral stability in the long direction is incomplete. The building engineer is required to check the stability system as part of EA for the existing structure.

Observation-8: Connection gap between steel connections (Wastage Store).



Description: During inspection, Connection gap was observed between steel connections. The building engineer is required to fill the connections with proper methodology.

3. Action Plan:

Item No	Observation	Action Plan	Timeline
1.	Design report needs to be reviewed against lateral forces (Childcare & Medical building).	The building engineer is required to revise the design report as per updated drawing and submit to RSC for review against lateral forces.	within 6 weeks
2.		Carry out remedial work if required.	within 6 months
3.		Continuing to implement loan plan	within 6 months
4.	Mismatch between drawing & onsite condition (Childcare & Medical building).	The building engineer is required to update the drawings to the as-constructed status.	within 6 weeks
5.	Dampness on roof slab and cracks on masonry walls (Childcare & Medical building).	The building engineer is required to investigate the reason for dampness & cracks; and repair following suitable method.	within 6 weeks
6.	Undocumented steel stair with lack of lateral stability system adjacent to Childcare & Medical building.	The building engineer is required to prepare a full set of as-built drawings to the as-constructed status.	within 6 weeks
7.		The building engineer is required to check the stability system and connection adequacy for the existing structure as part of EA and submit to RSC for review.	within 6 weeks
8.		Carry out remedial work if required.	within 6 months
9.	Corrosion on steel members of the steel stair (Childcare & Medical building).	The building engineer is required to provide rust-proof paint on steel members.	within 6 weeks
10.	Mismatch between drawing & onsite condition (Wastage Store).	The building engineer is required to update the drawings to the as-constructed status.	within 6 weeks
11.	Lack of lateral stability system (Wastage Store).	The building engineer is required to check the stability system as part of EA for the existing structure.	within 6 weeks
12.		Carry out remedial work if required.	within 6 months
13.	Connection gap between steel connections.	The building engineer is required to fill the connections with proper methodology.	within 6 weeks

Survey Limitations and Assumptions

This report is for the private and confidential use of RSC for whom it was prepared together with their professional advisors as appropriate. It should not be reproduced as a whole or in part or relied upon by third parties for any use without the express written permission of RSC.

This report can be used in discussion with the supplier or factory owner to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalized inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non-structural aspects of the building such as fire safety have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening up works were carried out (except as noted) and we relied on the Architects and Engineers drawings provided to us for our views on concealed parts of the structure and in particular foundations. Strengths of materials and components are untested, and we recommend that the factory owners Building Engineer carries out in situ testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, given, are for the purpose of providing indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the construction. This report does not interfere with the factory owners Building Engineers responsibility for the structural performance of this building, The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults defects, filling or plastering over cracking or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.