

ESQUIRE SWEATERS LTD. (EXTENSION)

HOSSAIN AHMED ROAD, OPSITE POLICE LINE, FATULLAH, NARAYANGONG -1400

(23.6329444,90.4842222)

16 February 2025

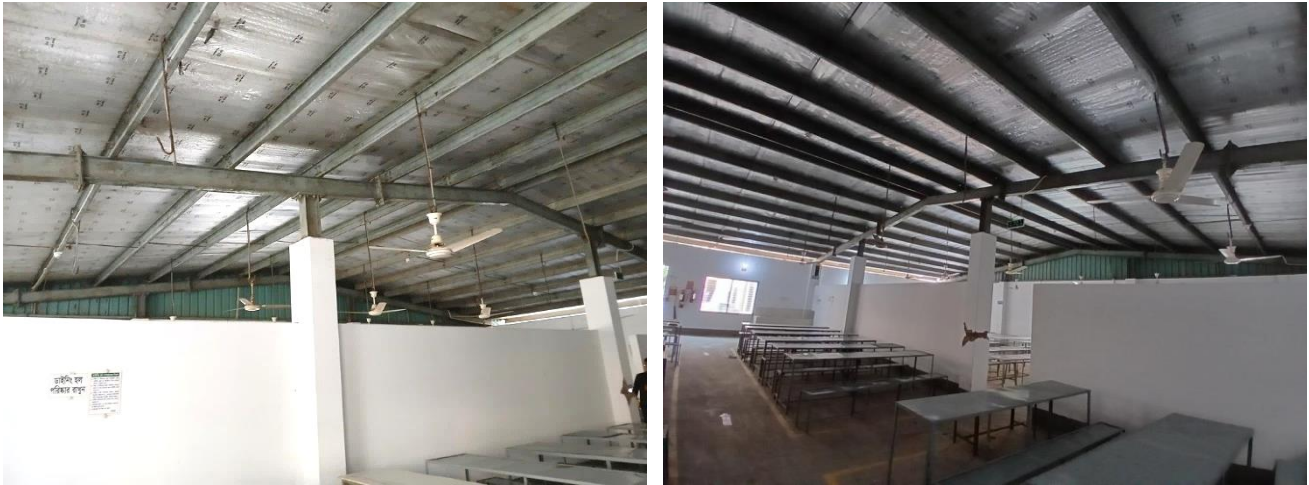


1. Building Information

1. Security Dormitory Building.
2. Wastage Store Shed.
3. Dining and Yarn Store Shed.
4. Fire Pump and Water Reservoir.
5. ETP Building.
6. RMS & Security Office.

2. Observation:

Observation-01: Lack of lateral stability system (load transfer media, vertical bracing) (Dining and Yarn Store Shed)

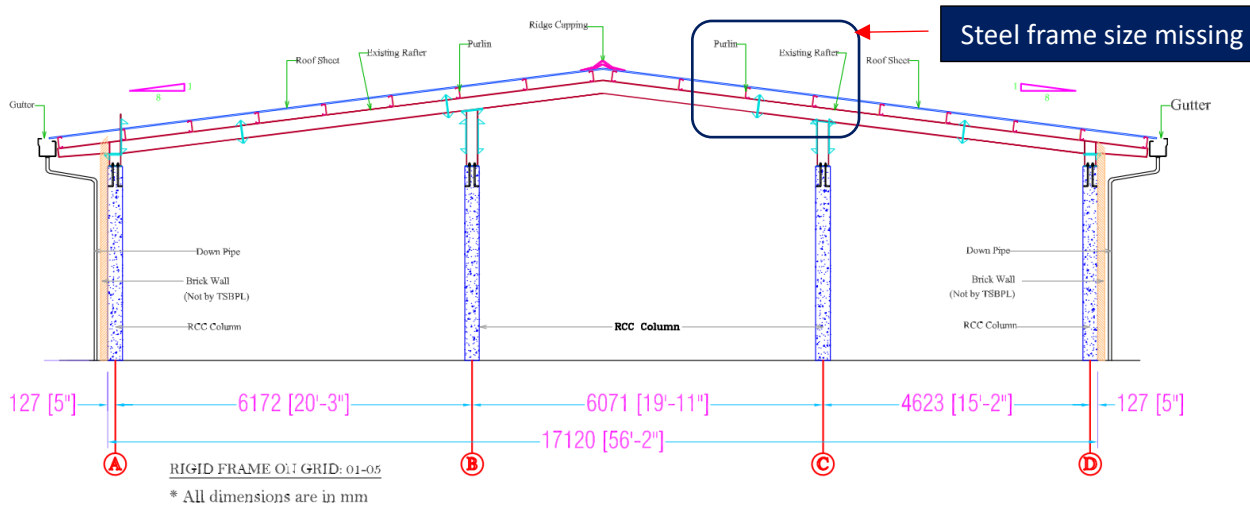


Lack of stability system

Description: Portal frames were observed along the short direction of the sheds, Along the long direction of the sheds, lateral stability systems (load transfer media/ compression strut, vertical & horizontal bracing) were not observed.

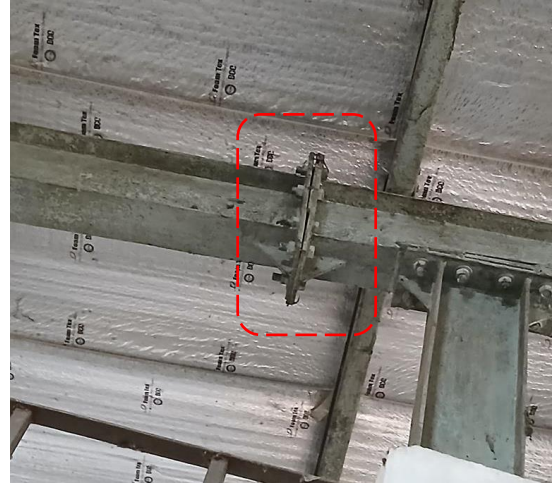
Building engineer is required to carry out an Engineering Assessment (EA) of the shed to check the lateral stability of the shed and suggest necessary remedial action.

Observation-02: Incomplete as-built drawings. (Dining and Yarn Store Shed)



Description: During the inspection, as-built drawings were available on-site; However, the drawings were incomplete, lacking information on the steel drawings, steel frame sizes, and connection details. The building engineer is required to survey the structures and prepare comprehensive as-built drawings, including steel specifications, sections, foundation details, and necessary connection information.

Observation-03: Improper connection and connection gap (Dining and Yarn Store Shed)



Improper connection and connection gap

Description: Improper connections and connection gaps were found in the dining and yarn store areas. The building engineer is required to repair the gaps with a suitable method and ensure adequate strengthening where necessary.

Observation-04: Corrosion on steel member (Dining and Yarn Store Shed)



Description: Corrosion was found in the steel member. The building engineer is required to remove the corrosion and provide anti-corrosive coating to the steel members.

Observation-05: Damage on column due to in-situ testing (Dining and Yarn Store Shed)



Description: Damaged columns were found due to the testing. The building engineer is required to apply micro-concrete or suitable concrete mortar to restore the damaged section.

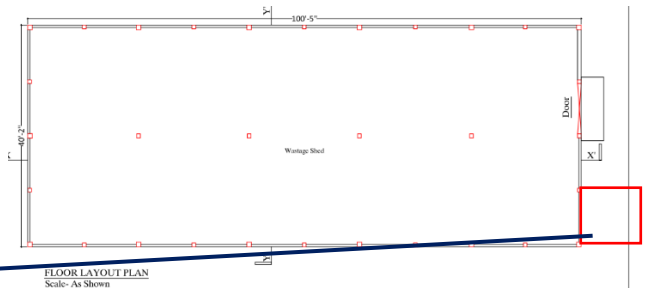
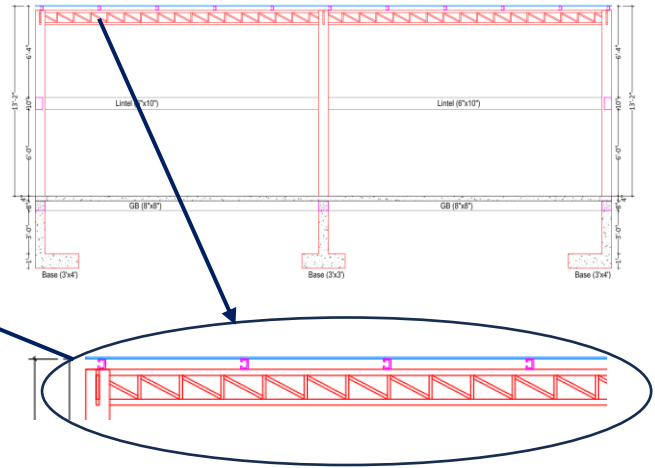
Observation-06: Lack of truss/member adequacy and poor connection. (Wastage store)



Stability System

Description: The span/depth ratio of the truss is smaller, which indicates the truss appeared to be inadequate. Also, the connections were appeared to be improper. The building engineer is required to check the adequacy for the truss & connections as part of EA report and suggested proper remedial actions accordingly.

Observation-07: Discrepancy in as-built drawing. (Wastage store)



Description: The as-built drawing indicates a flat truss, while a Vierendeel truss was found on-site. Also, an undocumented kitchen room located in the north-east corner. The building engineer is required to survey the structures and prepare comprehensive as-built drawings, including necessary connection details.

Observation-08: Crack on Tie beam (Wastage store)



Description: Cracks were observed on the tie beam of the Wastage Store. The building engineer is required to investigate the reason for the crack and repair it with a suitable method.

Observation-09: Lack of as-built drawings (Security Dormitory Building)



Description: As-built drawings were not available on site.

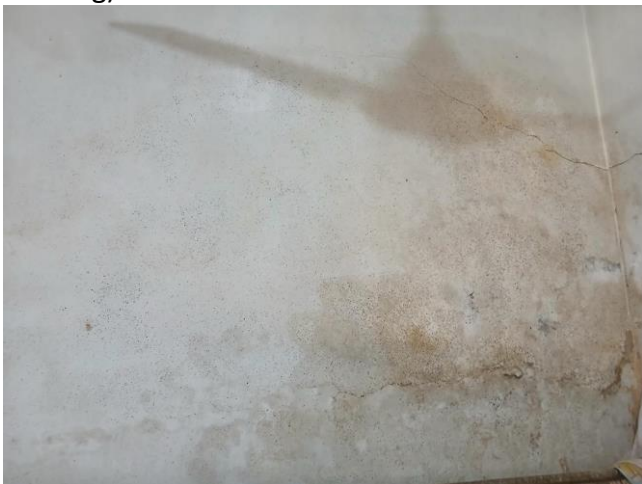
The building engineer is required to survey the structures and prepare as-built drawings for the structures with foundation details.

Observation-10: Crack on the brick wall (Security Dormitory Building)



Description: Cracks were observed on the façade wall of the Security Dormitory Building. The building engineer is required to investigate the reason for the crack and repair it with suitable method.

Observation-11: Dampness due to water intrusion on roof slab and brick wall. (Security Dormitory Building)



Description: Dampness was observed on the roof slab and internal brick partition walls due to water intrusion. The building engineer is required to identify all the damp locations throughout the building, seal the source of water, and repair the damp areas with suitable methods.

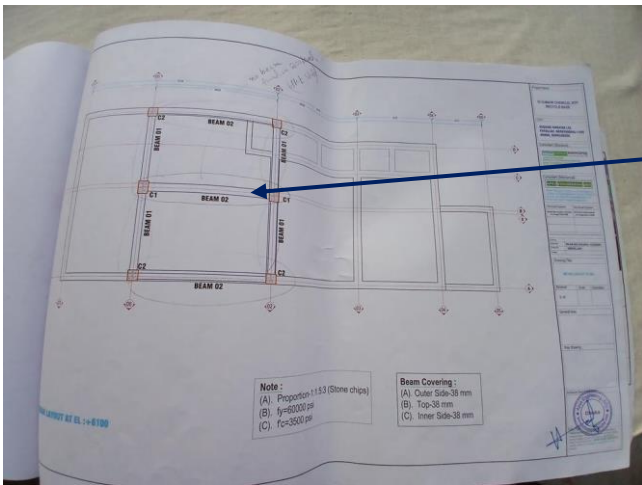
Observation-12: Lack of as-built drawings (Fire Pump & Water Reservoir)



Description: As-built drawings were not available on site.

The building engineer is required to survey the structures and prepare as-built drawings for the structures with foundation and necessary connection details.

Observation-13: Discrepancy in as-built drawing. (ETP Building)



Description: During the inspection, a flat slab was observed on the roof slab, whereas the drawings indicate a beam-column frame system.

The building engineer is required to survey the structures and prepare comprehensive as-built drawings.

Observation-14: Inadequate stair with poor connection and lack of drawings (ETP Building)



Description: An inadequate steel staircase with poor connections & member size was observed at the ETP building. Also, drawing was not available.

The building engineer is required to check the adequacy of the member and connections, prepare the necessary drawings and Safety check report and suggest necessary remedial actions accordingly. Submit the Safety check report to the RSC for review.

Observation-15: Lack of as-built drawings (RMS & Security Office)



Description: As-built drawings were not available on site.

The building engineer is required to survey the structures and prepare as-built drawings for the structures.

3. Action Plan

Item No.	Observation	Action Plan	Timeline
1.	Lack of lateral stability system (load transfer media, bracings) (Dining and Yarn Store Shed)	The building engineer is required to carry out an Engineering Assessment (EA) of the shed to check the lateral stability of the shed.	within 6 weeks
2.		Carry out suggested remedial works if required.	within 6 months
3.	Incomplete as-built drawings. (Dining and Yarn Store Shed)	The building engineer is required to survey the structures and prepare comprehensive as-built drawings, including steel specifications, sections, foundation details, and necessary connection information.	within 6 weeks
4.	Improper connection and connection gap (Dining and Yarn Store Shed)	The building engineer is required to repair the gaps with a suitable method.	within 6 weeks
5.	Corrosion on steel member (Dining and Yarn Store Shed)	The building engineer is required to remove the corrosion and provide anti-corrosive coating to the steel members.	within 6 weeks
6.	Testing Damage of column (Dining and Yarn Store Shed)	The building engineer is required to apply suitable repair mortar or micro-concrete to restore the damaged section.	within 6 weeks
7.	Lack of truss/member adequacy and poor connection. (Wastage store)	The building engineer is required to check the adequacy for the truss & connections as part of EA.	within 6 weeks
8.		Carry out suggested remedial works if required.	within 6 months
9.	Discrepancy in as-built drawing. (Wastage store)	The building engineer is required to survey the structures and prepare comprehensive as-built drawings, including necessary connection details.	within 6 weeks
10.	Crack on Tie beam (Wastage store)	The building engineer is required to investigate the reason for the crack and repair with suitable method.	within 6 weeks
11.	Lack of as-build drawings (Security Dormitory Building)	The building engineer is required to survey the structures and prepare as-built drawings for the structures with foundation details.	within 6 weeks
12.	Crack on the brick wall (Security Dormitory Building)	The building engineer is required to investigate the reason for the crack and repair with a suitable method.	within 6 weeks

13.	Dampness due to water intrusion on the roof slab and brick wall. (Security Dormitory Building)	The factory is required to identify all the damp locations throughout the building, seal the source of water, and repair the damp areas with suitable methods.	within 6 weeks
14.	Lack of as-built drawings (Fire Pump & Water Reservoir)	The building engineer is required to survey the structures and prepare as-built drawings with foundation & connection details.	within 6 weeks
15.	Discrepancy in as-built drawing. (ETP Building)	The building engineer is required to survey the structures and prepare comprehensive as-built drawings.	within 6 weeks
16.	Inadequate stairs with poor connection and lack of drawings (ETP Building)	The building engineer is required to prepare the necessary drawings, check the adequacy of members & connections as part of Safety check report. Submit the Safety check report to the RSC for review.	within 6 weeks
17.		Carry out suggested remedial works if required.	within 6 months
18.	Lack of as-built drawings (RMS & Security Office)	The building engineer is required to survey the structures and prepare as-built drawings for the structures.	within 6 weeks

Survey Limitations and Assumptions

This report is for the private and confidential use of RSC for whom it was prepared together with their professional advisors as appropriate. It should not be reproduced in whole or in part or relied upon by third parties for any use without the express written permission of RSC.

This report can be used in discussion with the supplier or factory owner as a means to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalized inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non-structural aspects of the building such as fire safety have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening up works were carried out (except as noted) and we rely on the Architects and Engineers drawings provided to us for our views on concealed parts of the structure and in particular foundations. Strengths of materials and components are untested and we recommend that the factory owners Building Engineer carries out in situ testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, where given, are for the purpose of providing indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the works as constructed. This report does not interfere with the factory owners Building Engineers responsibility for the structural performance of this building, The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults defects, filling or plastering over cracking or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.