

Shirt & Jacket Zone Ltd.

Gobindopur,Uzampur,Moinartake,Uttarkhan,Uttara,Dhaka-1230
(23.883003N, 90.451259E)
19 September 2023



Building Information

Factory Building: This structure is a partially seven storied (G+6) reinforced concrete (RC) building.

Utility Building: This structure is a single storied reinforced concrete (RC) building.

Office & Fire Pump Building: This structure is a two storied reinforced concrete (RC) building

Wastage Godown: This structure is a single storied RC building .

Medical, Daycare & Security Room: This structure is a single storied RC building .

Diesel Room: This structure is a single storied RC building.

Staff Dining & Construction Store: This structure is a single storied shed building.

Observation

Water ponding on roof slab



Water ponding observed on roof slab

Water ponding observed on roof slab due to poor drainage system. Factory is required to improve drainage system to drain out all stagnant water.

Possible vehicle impact for column



Barrier is not provided for all exposed columns at ground floor parking & loading-unloading zone

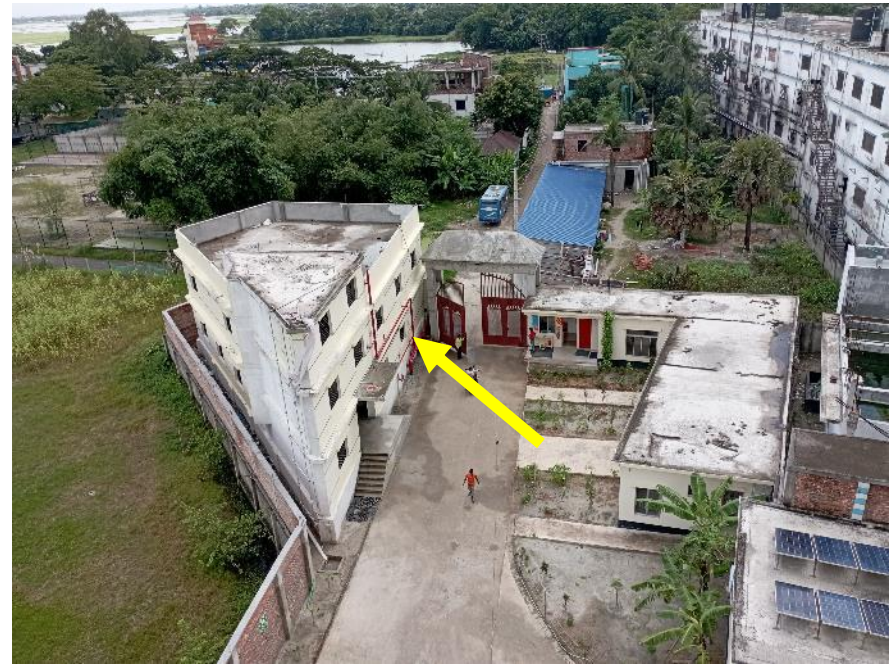
Columns at ground floor are prone to possible vehicle impact. Factory is required to provide barrier for all exposed column at ground floor to prevent from possible vehicle impact.

Design report needs to be updated

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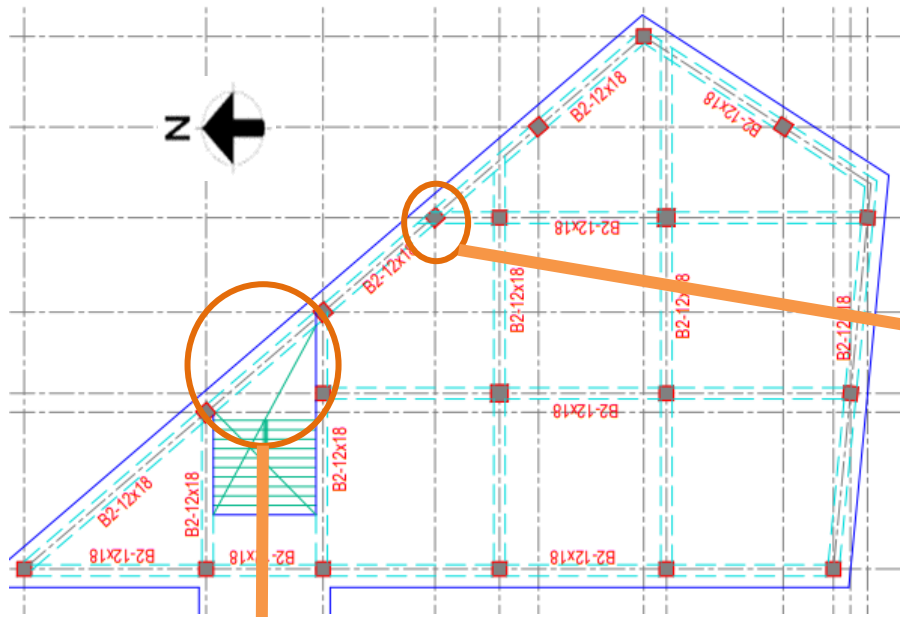
All serviceability check not provided in report



The structure is horizontally irregular

The structure is horizontally irregular and no torsional irregularity/drift check provided in report. Building engineer is required to update the design report as per 1.9.1.1 (BNBC) including all serviceability checks.

Discrepancies in As-built drawing



As-built floor beam layout



Beam layout does not match with drawing



No diagonal but straight beam at stair

As built beam layout does not match with on site condition at floor level & stair portion. Building engineer is required to update the as built structural drawing as well as FEM model and design report as per 1.9.1.1 (BNBC).

Lack of floor load plan



Load plan was not provided for this structure

This is a multistoried building, but floor load plan was not provided for this structure. Building engineer is required to produce floor live load plan for this structure.

Water ponding on roof slab



Water ponding observed on roof slab

Water ponding observed on roof slab due to poor drainage system. Factory is required to improve drainage system with proper slope and adequate water outlets to drain out all stagnant water.

Falling Hazard at roof level and stair area



Railing was missing at staircase

Railing was missing at staircase. Factory is required to provide railing at staircase to avoid possible falling hazard.

Lack of as-built drawings

**Observation: Medical, Daycare & Security Room
, Diesel Room, Staff Dining & Construction Store**



Medical, Daycare & Security
Room



Staff Dining & Construction
Store



Diesel Room

As-built drawing was not available for these structure. Building engineer is required to produce as-built drawings for the structures.

**Observation: Medical, Daycare & Security Room
, Diesel Room, Staff Dining & Construction Store**

Problems Observed

Factory Building:

Item 01: Water ponding on roof slab.

Item 02: Possible vehicle impact for column.

Office & Fire Pump Building:

Item 03: Design report needs to be updated.

Item 04: Discrepancies in As-built drawing.

Item 05: Lack of load plan.

Item 06: Water ponding on roof slab.

Item 07: Falling Hazard at roof level and stair area.

Medical, Daycare & Security Room ,Diesel Room, Staff Dining & Construction

Store :

Item 08: Lack of as-built drawings

Priority Actions

Item No.	Observation	Recommended Action Plan	Recommended Timeline
01	Water ponding on roof slab (Factory Building).	Factory is required to improve drainage system with proper slope and adequate water outlets to drain out all stagnant water.	6-month
02	Possible vehicle impact for column(Factory Building).	Factory is required to provide barrier for all exposed column at ground floor to prevent from possible vehicle impact.	6-weeks
03	Design report needs to be updated (office & fire pump Building).	Building engineer is required to update the design report as per 1.9.1.1 (BNBC) including all serviceability checks.	6-weeks
04	Design report needs to be updated (office & fire pump Building).	Do the remedial works if necessary.	6-month
05	Discrepancies in as-built drawing (office & fire pump Building).	Building engineer is required to update the as built structural drawing.	6-weeks

Item No.	Observation	Recommended Action Plan	Recommended Timeline
06	Lack of floor load plan (office & fire pump Building).	Building engineer is required to produce floor live load plan.	6-weeks
07	Lack of floor load plan (office & fire pump Building).	Do the remedial works if necessary.	6-month
08	Water ponding on roof slab (office & fire pump Building).	Factory is required to improve drainage system with proper slope and adequate water outlets to drain out all stagnant water.	6-month
09	Falling hazard at roof level and stair area (office & fire pump Building).	Factory is required to provide railing at staircase to avoid possible falling hazard.	6-weeks
10	Lack of as-built drawing (Medical, Daycare & Security Room ,Diesel Room, Staff Dining & Construction Store).	Building engineer is required to produce as-built drawing for the structures.	6-weeks

Survey Limitations and Assumptions

This report is for the private and confidential use of RSC for whom it was prepared together with their professional advisors as appropriate. It should not be reproduced in whole or in part or relied upon by third parties for any use without the express written permission of RSC.

This report can be used in discussion with the supplier or factory owner as a means to rectify or address any observations made. The report is not comprehensive and is limited to what could be observed during a visual inspection of the building.

This Report is not intended to be treated as a generalised inspection and does not cover the deterioration of structural members through dampness, fungal or insect attack, nor does it deal with problems and defects of a non-structural nature. Other non structural aspects of the building such as fire safety have not been assessed in this survey.

Except as otherwise noted, drains and other services were not viewed or tested during our inspection and are therefore similarly excluded from this Report. We have not inspected any parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

External inspection of the façade walls has generally been carried out from ground level only by visual sighting. No opening up works were carried out (except as noted) and we rely on the Architects and Engineers drawings provided to us for our views on concealed parts of the structure and in particular foundations. Strengths of materials and components are untested and we recommend that the factory owners Building Engineer carries out in situ testing over and above those suggested to satisfy themselves with the material strengths and component details.

Recommendations, where given, are for the purpose of providing indicative advice only, are not exhaustive, relate solely to identifying key and obvious structural defects as identified in this presentation, and do not take the form of or constitute a specification for works. We take no responsibility for the works as constructed. This report does not interfere with the factory owners Building Engineers responsibility for the structural performance of this building, The Building Engineer remains fully responsible for the structural adequacy of the building.

This report does not comment in detail on the future seismic performance of the building and only highlights the fact that the building may experience significant damage or collapse in a seismic event along with many others in the Dhaka region.

The observations in this report are based on the Engineering Judgement of the lead surveyor/engineer at the time of the survey. We assume in making these observations that no covering up of faults defects, filling or plastering over cracking or significant repair work has been carried out by the building owner. Any future alteration or additional work by the building owner will void this report.