

Denim Asia Limited (Extension Building)

Ratanpur Road, Taltola Shafipur, Kaliakair, Gazipur, Bangladesh
(24.0341, 90.2792)

21st September 2021



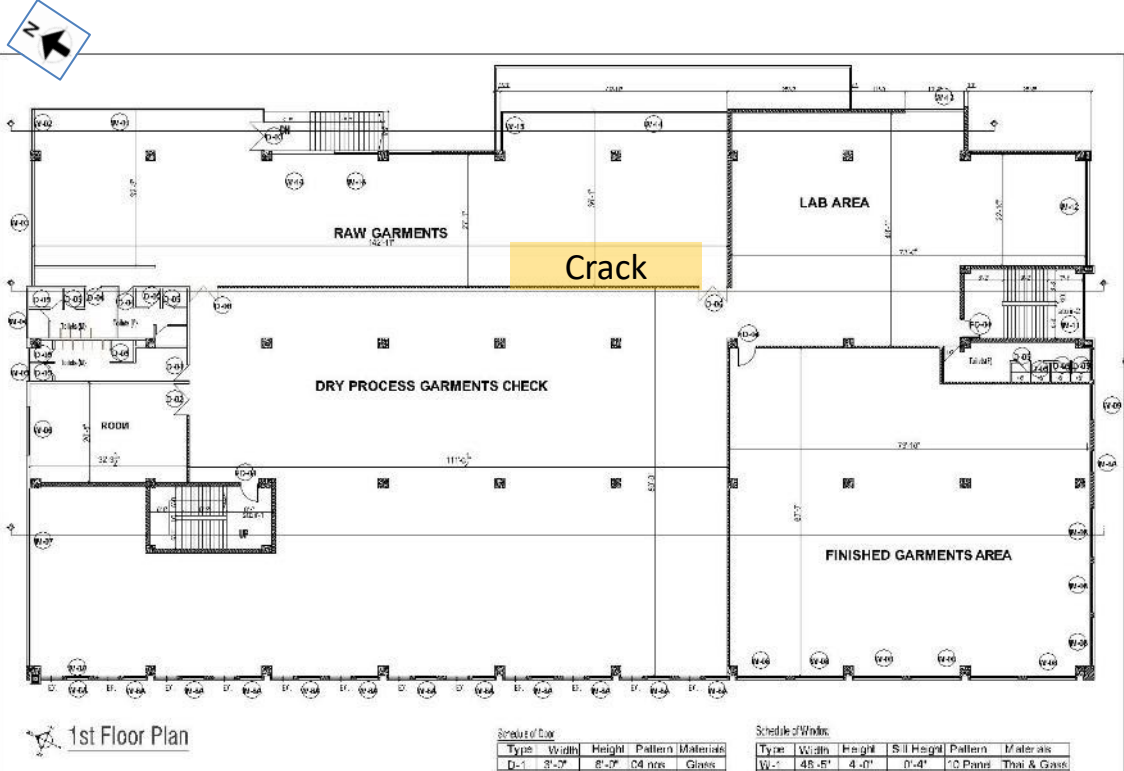
Buildings Information

1. Building-1 (Washing Building) (G+1)
2. Shed-1 & 2 (WTP & Workshop) (Single Storied)
3. Shed-3 (Chemical Room) (Single Storied)
4. Shed-6 (MDB Room) (Single Storied)

Observations

Cracks on 1st floor slab soffit

Observation: Building 1



1st floor layout plan

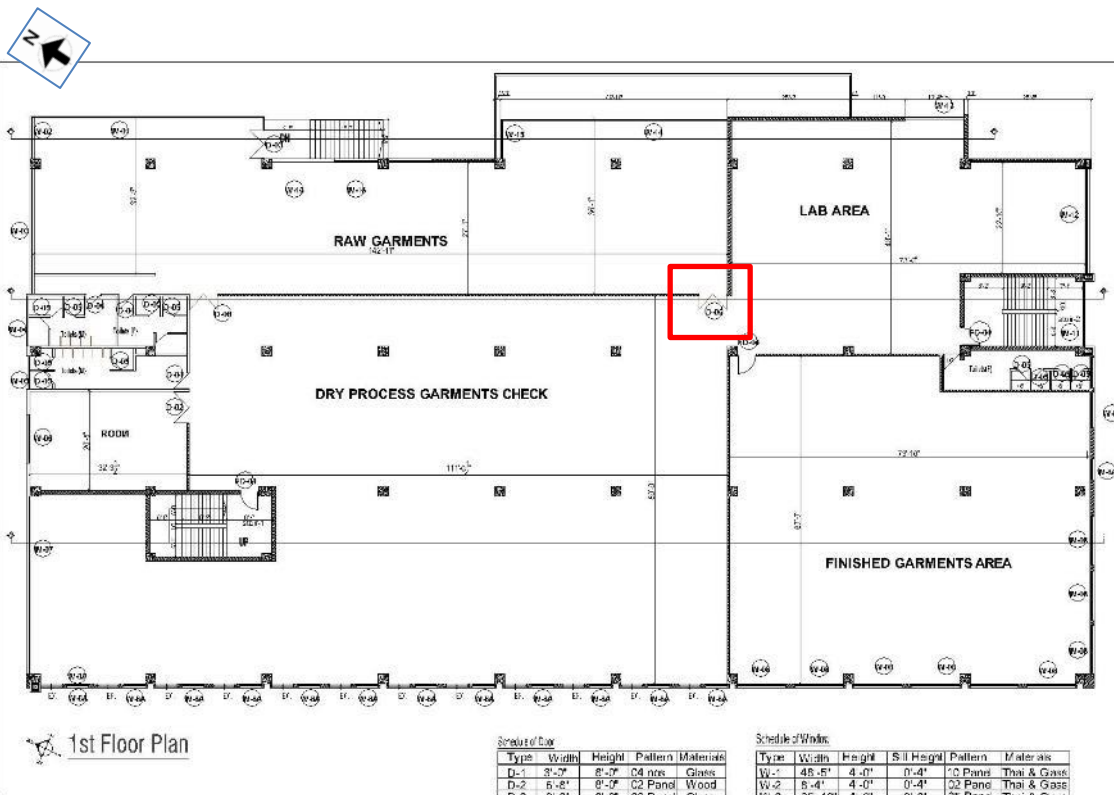


Crack on 1st floor Slab Soffit



Crack observed on 1st floor slab soffit. Building engineer is required to check the reason, determine the extents of crack and prepare an investigation report with remedial actions.

Unrestrained brick walls



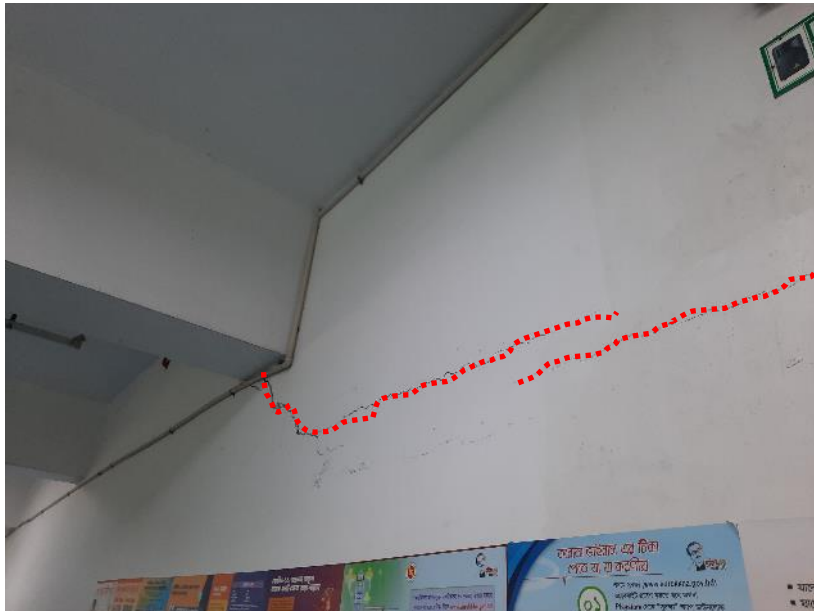
1st floor layout plan

Unrestrained brick wall observed on 1st floor. Building engineer is required to provide temporary support to the unrestrained walls and suggest appropriate remedial measures.



Overhang brick wall without lintel

Crack on the brick walls



Crack on brick walls



Crack on brick wall observed throughout the building. Building engineer is required to check the reason, determine the extents of crack and prepare an investigation report with remedial actions. Also check whether any settlement issue present in there or not.

Water ponding & poor roof drainage system



Water ponding observed on the roof. Also, poor roof drainage system observed. Building is required to improve the roof drainage system and apply water proofing membrane on the roof.

Apparently non-engineered roof

Shed 1, 2



Shed 3



Apparently inadequate member, lack of lateral stability system. Building engineer is required to check the lateral stability of these shed or replace with engineered structure.

Problems Observed

Building-1 (Washing Building)

Item 01: Cracks on 1st floor slab soffit.

Item 02: Unrestrained brick walls.

Item 03: Crack on brick walls.

Item 04: Water ponding & poor roof drainage system.

Shed 1 & 2 and 3

Item 05: Apparently non-engineered roof.

Priority Actions

Item No.	Observation	Recommended Action Plan	Recommended Timeline
01	Cracks on 1st floor slab soffit. (Building 1)	Building engineer is required to check the reason, determine the extents of crack and prepare an investigation report with remedial actions.	6-weeks
02	Cracks on 1st floor slab soffit. (Building 1)	Check whether any settlement issue arises.	6-weeks
03	Cracks on 1st floor slab soffit. (Building 1)	Carryout remedial works where necessary	6-weeks
04	Unrestrained brick walls. (Building 1)	Provide temporary support to the unrestrained walls.	Immediate - Now
05	Unrestrained brick walls. (Building 1)	Building engineer is required to prepare remedial plan.	6-weeks

Item No.	Observation	Recommended Action Plan	Recommended Timeline
06	Unrestrained brick walls. (Building 1)	Carryout remedial works.	6-weeks
07	Crack on brick walls.(Building 1)	Building engineer is required to check the reason, determine the extents of crack and prepare an investigation report with remedial actions.	6-weeks
08	Crack on brick walls.(Building 1)	Check whether any settlement issue arises.	6-weeks
09	Crack on brick walls.(Building 1)	Carryout remedial works where necessary.	6-weeks
10	Water ponding & poor roof drainage system. (Building 1)	Building is required to improve the roof drainage system and apply water proofing membrane on the roof.	6-weeks

Item No.	Observation	Recommended Action Plan	Recommended Timeline
11	Apparently non-engineered roof. (Shed 1 & 2 and 3)	Building engineer is required to check the lateral stability system and uplift capacity for the wind forces of the shed or replace those shed with an engineered structure.	6-weeks
12	Apparently non-engineered roof. (Shed 1 & 2 and 3)	Carryout remedial works where necessary.	6-months