

# Shanta Expressions Ltd.(9459)

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**ACCORD**  
on Fire and Building Safety in Bangladesh

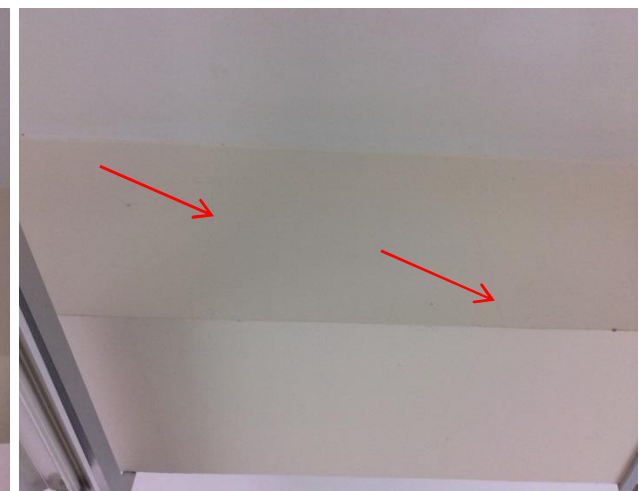
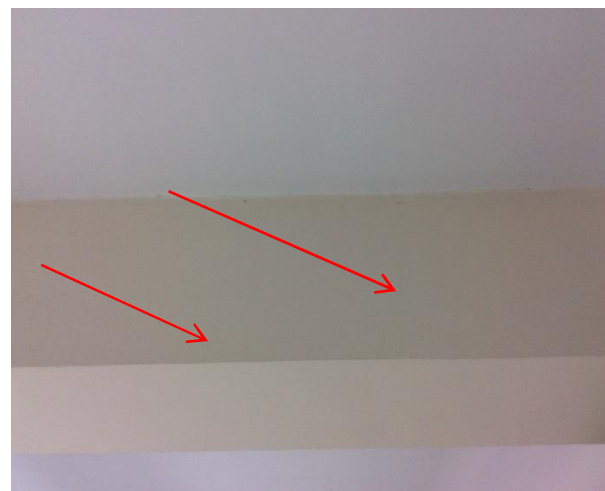
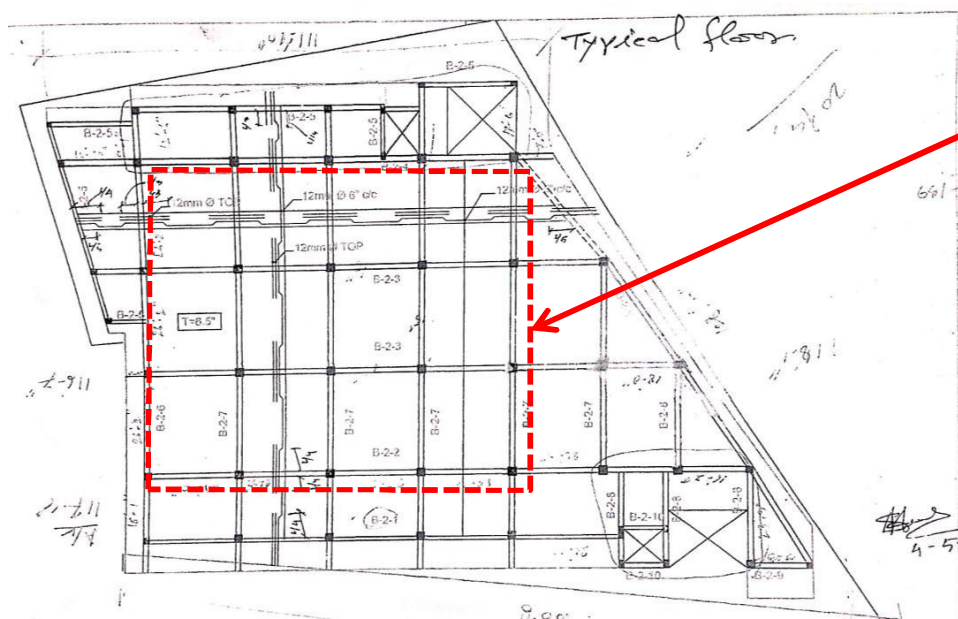


## Identified Priority 1 Concerns

- Cracks on beams, capacity checks are required

1st Priority 1 Concern

Cracks on beams, as shown, on 6<sup>th</sup> floor which may be from uncontrolled heavy loading above.



Capacity checks are required prior to repairing.

## Identified Priority 2 Concerns

- Water leaks and corrosion on top of water tank.
- Overall stability system.

1<sup>st</sup> Priority 2 Concern



Water leaks and corrosion appears on the reinforced concrete walls of the water tank. This will cause deterioration if left unattended. Also, there are also cracks on the column supporting the tank.

## 2<sup>nd</sup> Priority 2 Concern



Concerns with the stability system dealing with lateral & seismic loading. Façade brickwork walls lack moment capacity due to their poor connection with columns and beams.

We require that these concerns are investigated as part of a Detailed Engineering Assessment



## Identified Priority 3 Concerns

- No waterproofing material at roof slab level or on the water tank.
- Water ingress due to cracks on external facade potentially causing damage to the brick infill walls.

## Building 1



1<sup>st</sup> Priority 3 Concern



An appropriate layer of waterproofing needs to be applied.

2<sup>nd</sup> Priority 3 Concern



Water ingress due to cracks on external façade could cause further damage to the brick infill walls. Cracks on the external façade should be identified, investigated and then repaired.

# Priority Actions

## Problems Observed Summary

- ITEM 1: (Priority 1) Cracks on beam at 6<sup>th</sup> floor.**
- ITEM 2: (Priority 2) Water leaks and corrosion on top of the water tank.**
- ITEM 3: (Priority 2) Overall stability system / moment frame capacity.**
- ITEM 4: (Priority 3) No waterproofing material on roof slab and water tank.**
- ITEM 5: (Priority 3) Water ingress due to cracks on external façade potentially causing damage to the brick infill walls.**

## Item 1 and actions

Cracks on beams at 6<sup>th</sup> floor level.

### Priority 1 (Immediate – Now)

- A Detailed Engineering Assessment of the factory is to be carried out, investigating in particular the cause of this cracking.

### Priority 2 (within 6 – weeks)

- The distress found is to be rectified and then suitably repaired.
- Simply plastering over is not allowed.
- Develop a loading plan for each level.

### Priority 3 (within 6-months)

- Maintain standards of quality control to ensure that loading plan is correctly followed so that problems do not arise in the future.
- Maintain and enforce the loading plans.

## Item 2 and actions

Water leaks and corrosion on top of the water tank..

### Priority 1 (Immediate – Now)

- None required

### Priority 2 (within 6 – weeks)

- The Factory Engineer is to inspect the water damaged structure including the exterior and propose a suitable method of repair.

### Priority 3 (within 6-months)

- Implement and continuously maintain the waterproofing.

## Item 3 and actions

Overall stability system / moment frame capacity.

### Priority 1 (Immediate – Now)

- None required.

### Priority 2 (within 6 – weeks)

- The Detailed Engineering Assessment of the building is to be carried out and in particular, stability and foundation aspects should be investigated in detail.

### Priority 3 (within 6-months)

- Carry out any recommendations from the DEA.
- Complete and maintain any recommendations.

## Item 4 and actions

No waterproofing material on the roof slab.

### Priority 1 (Immediate – Now)

- None required.

### Priority 2 (within 6 – weeks)

- None required.

### Priority 3 (within 6-months)

- Waterproofing material to be applied and maintained.

## Item 5 and actions

Water ingress due to cracks on external façade potentially causing damage to the brick infill walls.

### Priority 1 (Immediate – Now)

- None required

### Priority 2 (within 6 – weeks)

- The Factory Engineer is to inspect the water damage and the external façade cracks and propose a suitable method of repair to avoid further water ingress.

### Priority 3 (within 6-months)

- Implement and continuously maintain the repair systems.