

# Mondol Intimates Ltd. (11705)

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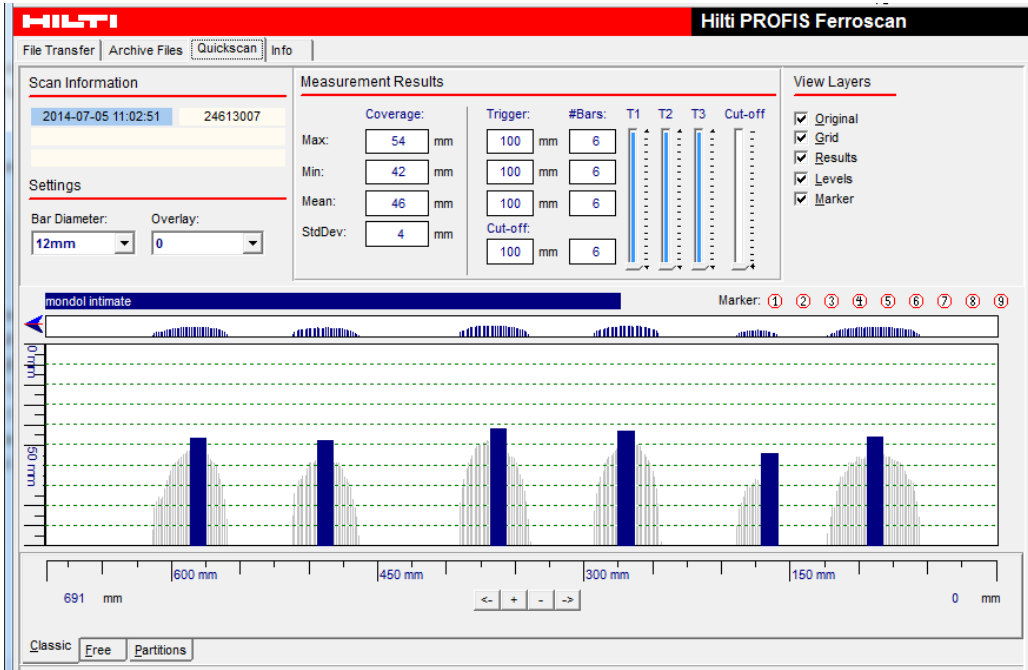
(+24.164690N, 90.428422E)

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# Identified Priority 3 Concerns

# 1st Priority 3 Concern



The Ferroskan image indicates 20 bars in the column C1 at the ground level in the building 1 rather than 22 bars as in structural drawing. Two bars are missing from the as-built column.

NAME OF COL.	GROUND & 1ST FLOOR		2ND&3RD FLOOR		4TH & 5TH FLOOR		6TH & 7TH FLOOR		8TH FLOOR	
	SIZE	VER. BAR	SIZE	VER. BAR	SIZE	VER. BAR	SIZE	VER. BAR	SIZE	VER. BAR
C1	24" X24"	22-25mmØ	24" X24"	18-25mmØ	24" X24"	14-25mmØ	24" X24"	8-25mmØ + 6-22mmØ	24" X24"	14-22mmØ

There is inconsistency of the reinforcement of typical columns in the building 1

## 2<sup>nd</sup> Priority 3 Concern



It appears to lack proper waterproof on the roof floor leading to water penetration. There are many visible signs of water seepage on the ceiling and the wall at lower level



The signs of water seepage on the ceiling and on the wall at lower floor

### 3<sup>rd</sup> Priority 3 Concern



The re-bars exposed on the roof have been planed for future extension.

It is not recommended to build up one more floor on top of existing building beyond what has been approved. That would place the building in unstable condition. Every structural modification needs to be investigated by licensed engineer.

## 4<sup>th</sup> Priority 3 Concern



The steel structure has not been fireproofed. It is required to provide fireproofing for all columns, beams and connection supporting floors in a steel structure.

# Priority Actions

## Problems Observed Summary

- ITEM 1: (1<sup>st</sup> Priority 3) Structural record drawings do not reflect the as-built conditions.**
- ITEM 2: : (2<sup>nd</sup> Priority 3) Lack of proper waterproofing on the roof level results in significant water damage at wall, ceiling and beam locations.**
- ITEM 3: : (3<sup>rd</sup> Priority 3) The re-bars exposed on the roof have been planed for future extension.**
- ITEM 4: : (4<sup>th</sup> Priority 3) Lack of fireproofing for steel building.**

Item No.	Observation	Recommended Action Plan	Recommended Timeline
1	1st Priority 3 - Structural record drawings do not reflect the as-built conditions.	Carry out full survey of all structural elements Based on the results of the detailed structural survey, the Factory Engineer is to prepare accurate structural records for the building, reflecting accurately the as-built condition.	6-months
2	2nd Priority 3 - Lack of proper waterproofing on the roof level results in significant water damage at wall, ceiling and beam locations.	Provide propping to the damaged concrete areas (if slab, beam and column)	6-weeks
3	2nd Priority 3 - Lack of proper waterproofing on the roof level results in significant water damage at wall, ceiling and beam locations.	Hack away the damaged concrete and expose reinforcement to check for corrosion Carry out replacement of reinforcement and proper re-grouting of structural elements Apply proper waterproofing to the roof slab	6-months
4	3rd Priority 3 - The re-bars exposed on the roof have been planned for future extension.	Do not carry out any structural modification without any form of approval and design by licensed engineer.	6-months
5	4th Priority 3 - Lack of fireproofing for steel building.	Provide fireproofing for steel columns, beams and connections supporting floors in the steel building as per BNBC requirements.	6-months