

Esquire Knit Composite

22/58 Kanchur, Sonargaon, Narayangonj
(GPS Coordinates 23.7100,90.5177)

17th September 2013

Additional 3 storey building connected to existing



Bldg 1

Bldg 2



Bldg 2 structure cantilevers towards Bldg 1. Finishes are continuous over the joint between the two and have cracked due to differential movement



Cracking in walls likely caused by differential settlement between Bldg 1 and Bldg 2



Leaking roof drainage by perimeter columns



**Roof drainage gully
with downpipe
adjacent to columns**



**Downpipes enclosed by
brickwork- vegetation
growth indicates moisture.
Running water visible**



**Links with no
cover**

Heavy loading



**Dense Storage up to approx
16KN/m² noted on some
levels**

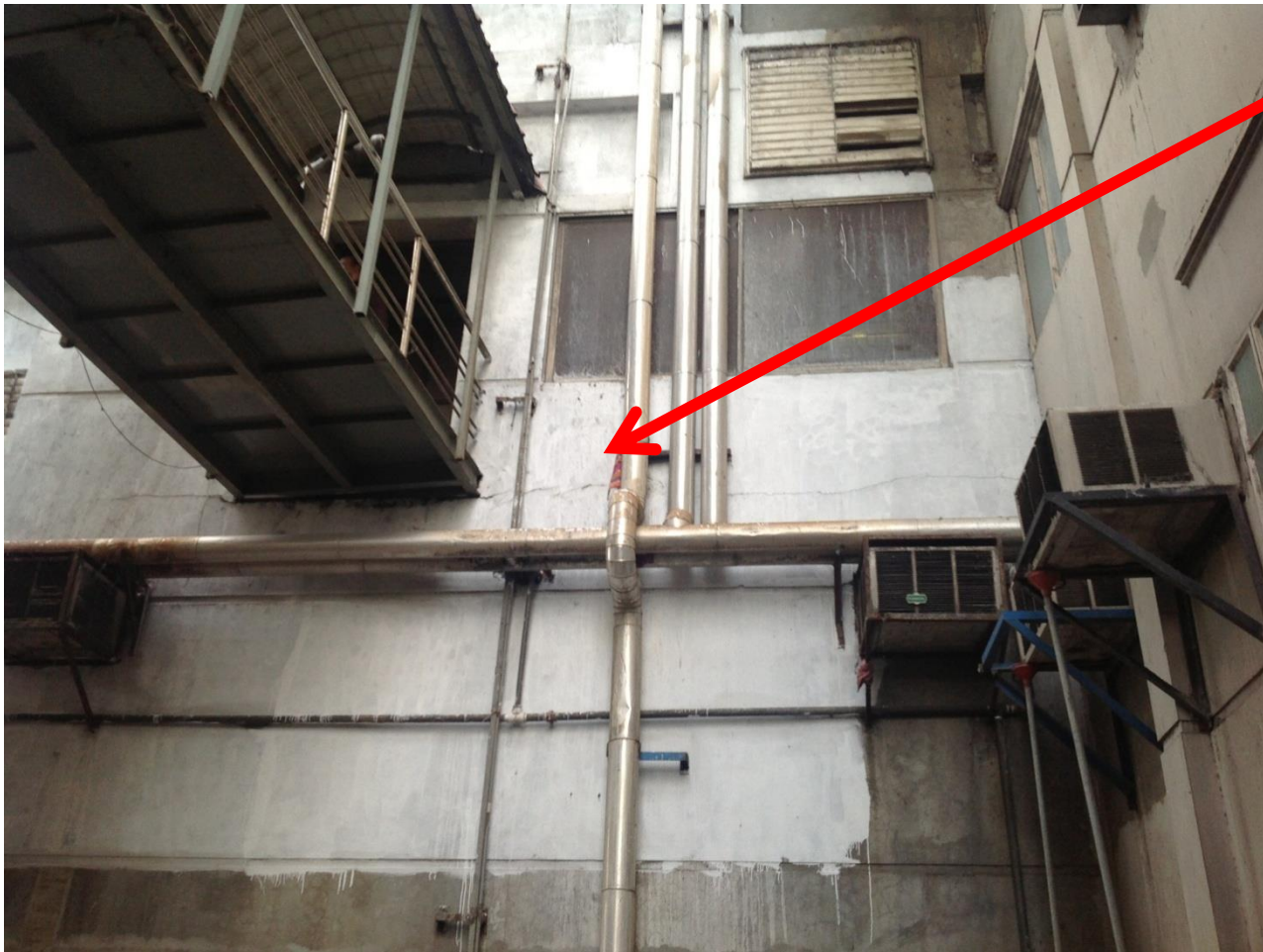
**Plan and height restrictions
to be introduced to prevent
future overloading.**

**Heavy Equipment Loading
on suspended floors –
Floor slabs to be checked
against loading given on
equipment data sheets**



Bridge Link North Facade

**Crack in Façade under
Bridge Link**



Priority Actions

Problems observed

ITEM 1: Additional 3 storey building constructed to the north at later date without drawings or permit. Connected to existing building. Evidence of differential settlement where the two buildings are connected at ground level. Cracking along the junction between the two.

ITEM 2: Perimeter columns are permanently wet due to roof drainage water running down the side of the column between roof and Level 11. Rebar cover reduced to zero in some places.

ITEM 3: Heavy loading on some levels - Risk of overloading or local damage to slab

ITEM 4: Cracking to Façade propagating from Bridge link at level 2 above ground on north façade – support conditions are unknown and some movement is evident from the horizontal cracking in the facade

Item No.	Observation	Recommended Action Plan	Recommended Timeline
1	Additional 3 storey building annex	Permit and as-built drawings should be provided for additional building. The as-built drawings should indicate the construction joint detail between the existing and new build at each level	6-months
2	Perimeter columns are permanently wet due to roof drainage water running down the side of the column between roof and Level 11. Rebar cover reduced to zero in some places.	Fix or re route drainage from roof level to avoid structural corrosion due to continuous moisture	6-months
3	Perimeter columns are permanently wet due to roof drainage water running down the side of the column between roof and Level 11. Rebar cover reduced to zero in some places.	Break out brick drainage enclosures in order to inspect columns. Repair any corrosion damage and add cover.	6-months
4	Materials stacked close to ceiling in densely spaced piles	Design check on floor slabs against equipment data sheet loading to be carried out for printing and knitting floors	6-months
5	Materials stacked close to ceiling in densely spaced piles	Create controlled loading plans for all floors designating where storage can be placed and can not be placed. Designated areas must be posted and communicated to the factory management	6-months

Item No.	Observation	Recommended Action Plan	Recommended Timeline
6	Bridge Links on North Facade	Provide as built drawings and Engineer's Calculation Check for Link Bridges including connection, support details at North Façade and Justification for support on existing Buildings	6-months