

Ever Fashions (Tongi) Ltd.

Plot # D-204,205,206,BSCIC Industrial Area, Tongi, Gazipur- 1710
(23.892027N, 90.415737E)

25 June 2014



Observations

High slab loads

Water tanks and plinths heavily loading slab to roof level.





Fabric relaxation storage

Fabric waste storage and the fabric relaxing storage on the 1st floor is densely packed resulting in high areas of load.



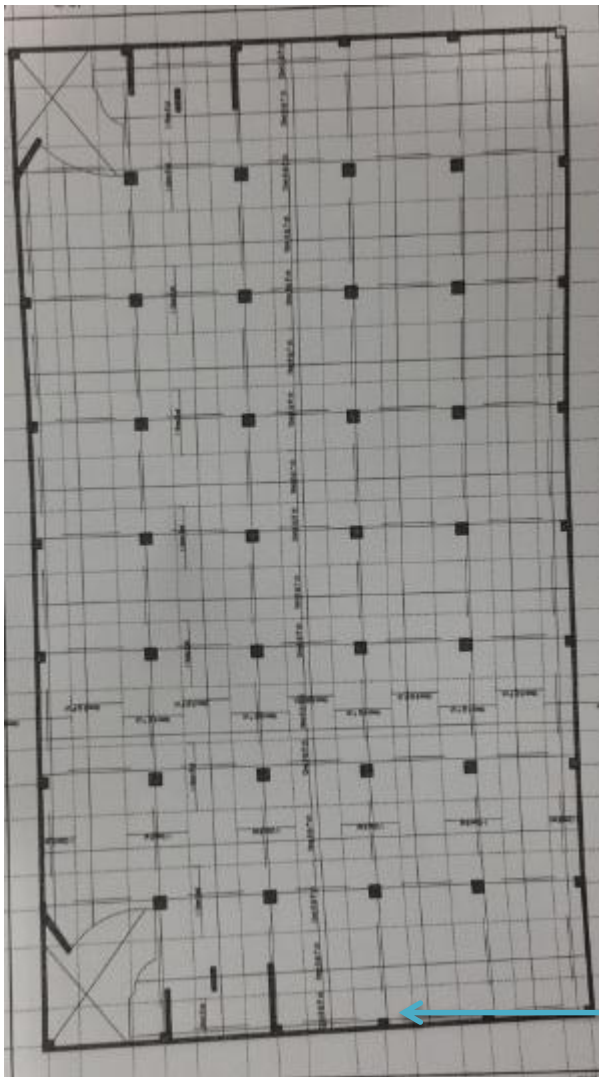
Loose fabric waste storage

Slab cracking



Multiple cracks on slab soffit of current roof level were observed directly below water tank position.

Documentation & available drawings



Cantilever beyond edge column

Cantilevers were present on site which were not shown on the permit or structural drawings

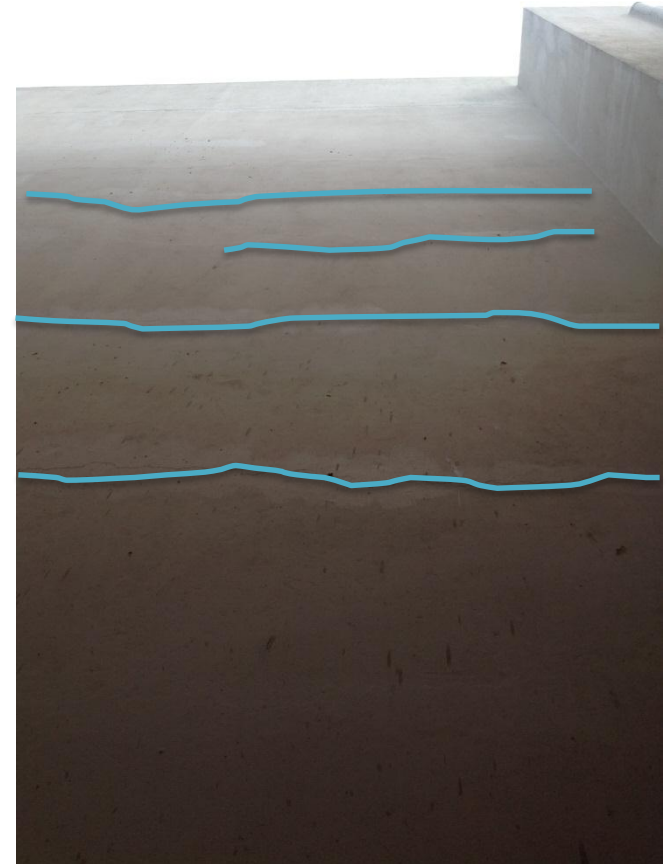
Unrestrained masonry



Masonry parapet is 1 brick thick and is insufficiently restrained by the structure

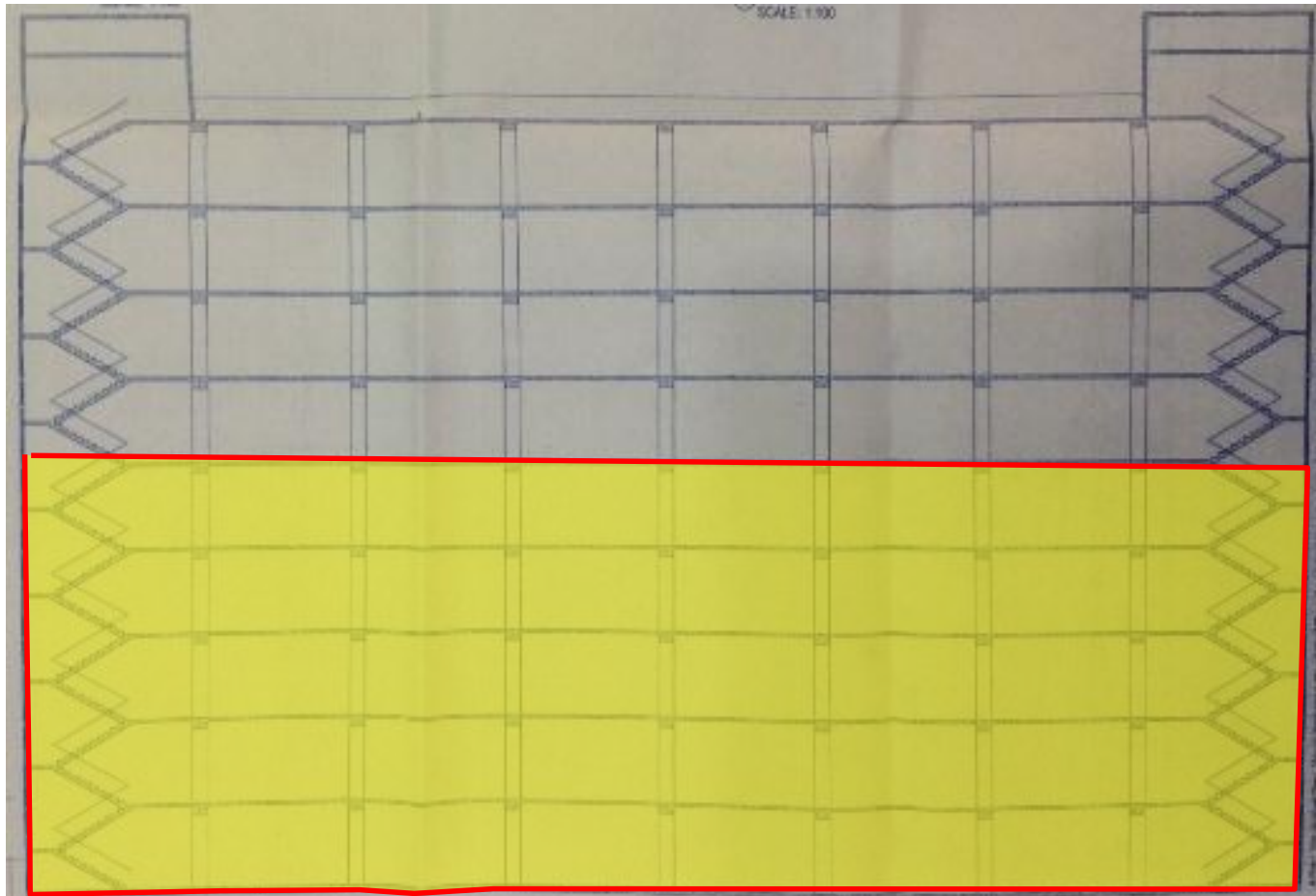
Façade wall cracking

Masonry façade has multiple locations of cracking



High column stresses

During the visit only 3 storeys plus a basement were constructed but a permit existed for 8 storeys plus a basement. Column stresses must be reviewed prior to construction of further floors.



Permit drawing elevation - hatched area shows as-built height

Problems Observed

ITEM 1 – High slab loading

ITEM 2 – Slab cracking

ITEM 3 – Documentation & available drawings

ITEM 4 – Unrestrained masonry

ITEM 5 – Façade wall cracking

Item No.	Observation	Recommended Action Plan	Recommended Timeline
1	Check localised high loading from water tanks and storage loading	Building engineer to check that slabs and columns have sufficient capacity to locally support fully filled water tanks (inc. plinths) and storage loads.	6-weeks
2	Cracks to soffit of roof slab	Sections of plaster finish to be removed to investigate if cracks penetrate the building structure	6-weeks
3	Cracks to soffit of roof slab	Engineer to carry out design check on affected areas to confirm design is adequate.	6-months
4	Permit and structural drawings are not in line with the as-built condition	Building engineer to check, collect information and produce accurate and complete as-built documentation at the soonest opportunity.	6-months
5	Unrestrained masonry parapet to roof	Building engineer to check design of parapet under design loadings and install restraints, if necessary.	6-months
6	Cracks to masonry façade	Sections of plaster finish to be removed to investigate if cracks penetrate the masonry façade structure and to ensure masonry panels remain restrained to structure.	6-weeks